

**VARIANCE
APPLICATION**

Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338

Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: 20240771 Date Received:
Type:

Type of Request: Chapter 16-Streams Chapter 16-Other Chapter 20-Signs Chapter 27-Zoning
Code section from which variance is sought: 27-58
Nature of Request: Deck in rear setback

Project:
Name of Project / Subdivision: Porch + Deck / Dunwoody Station Zoning:
Property Address / Location: 1275 Mile Post Drive, Dunwoody, Ga. 30338
District: Land Lot: Block: Property ID:

Owner Information:
Owner's Name: Nicholas + Lori Desoutter
Owner's Address: 1275 Mile Post Drive, Dunwoody, Ga. 30338
Phone: 770-355-3330 Fax: Email: desoutter@comcast.net

Applicant Information: Check here if same as Property Owner
Contact Name:
Address:
Phone: Fax: Email:

Terms & Conditions:
I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.
Applicant's Name: Lori Desoutter
Applicant's Signature: Lori Desoutter Date: 8/16/2024

Notary:
Sworn to and subscribed before me this 16th Day of August, 2024
Notary Public: Susan Austin
Signature: [Signature]
My Commission Expires: 2-8-28 My Commission Expires 02/08/2028
Susan V Austin
NOTARY PUBLIC
FULTON COUNTY, GEORGIA

Office Use:
 Application Fee Paid Public Notice Fee Paid (\$450) Fee: \$
Payment: Cash Check CC Date:
 Approved Approved w/ Conditions Denied Date:

RESERVED FOR THE CLERK OF COURTS

LEGEND AND SYMBOLS USED

- IPF - Iron Pin Found
- IPS - Iron Pin Set (1/2" Capped Rebar)
- RBF - Rebar Found
- OTF - Open Top Pipe Found
- CTF - Crimped Top Pipe Found
- MON - Monument Found
- CMF - Concrete Monument Found
- CP - Calculated Point
- ⊕ PP - Power Pole
- ⊕ LP - Light Pole
- ⊕ PED - Utility Pedestal
- ⊕ FH - Fire Hydrant
- ⊕ WM - Water Meter
- ⊕ WV - Water Valve
- ⊕ GM - Gas Meter
- ⊕ SMH - Sewer Manhole
- ⊕ CB - Catch Basin
- ⊕ DI - Drop Inlet
- ⊕ C/O - Cleanout
- ⊕ PBX - Power Box
- ⊕ Deciduous Tree
- ⊕ Coniferous Tree
- CMP - Corrugated Metal Pipe
- RCP - Reinforced Concrete Pipe
- RW - Right of Way
- N-F - Now or Formerly
- DB, PG - Deed Book and Page
- PB, PG - Plat Book and Page
- POB - Point of Beginning



ZONING STATEMENT

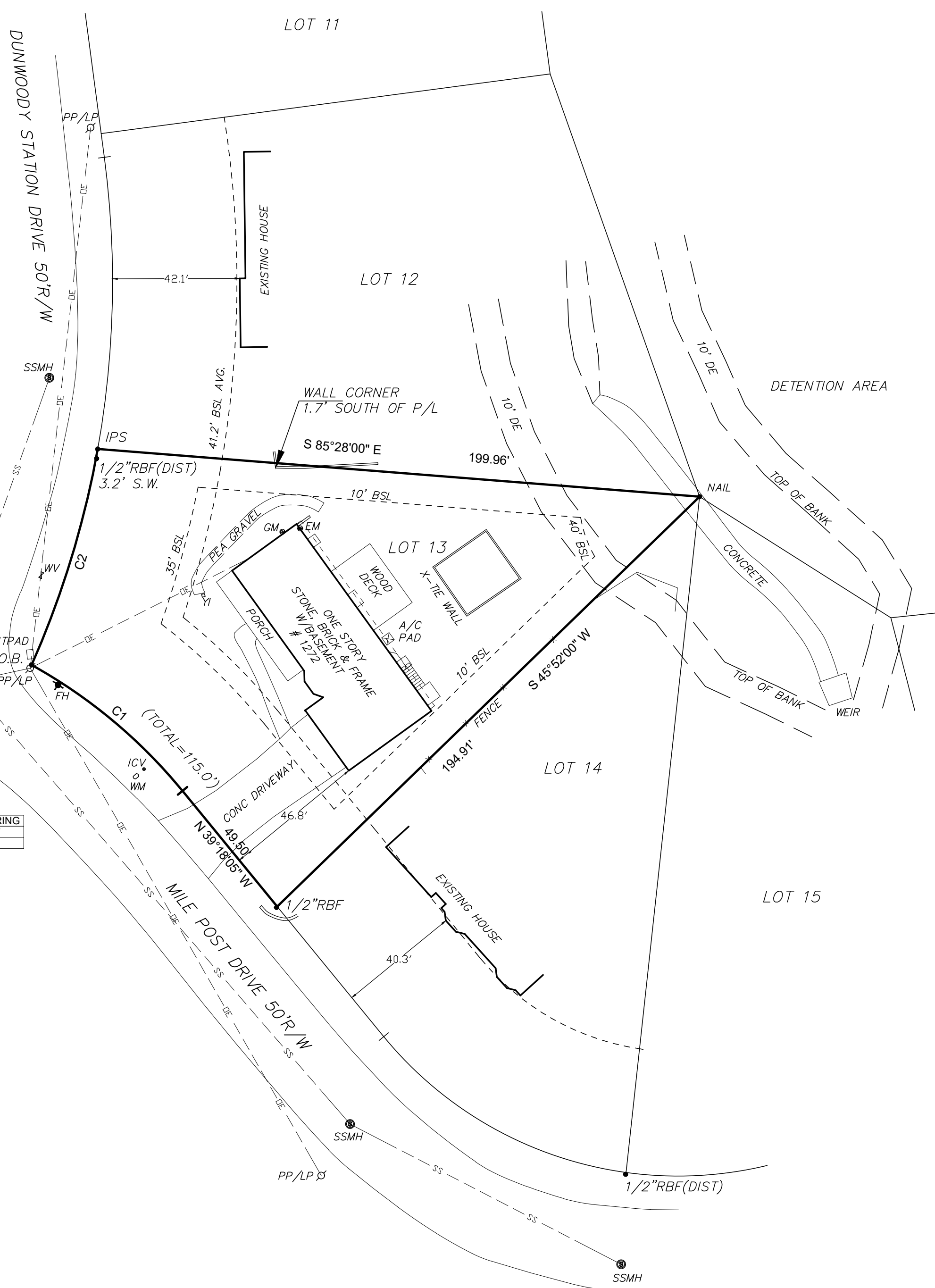
Any graphic depiction of setback lines and other matters of zoning classification are the surveyor's interpretation of the zoning information furnished. The surveyor offers no certification as to the zoning of the subject property or compliance with zoning regulations for the structures or businesses on the subject property.

Subject Property Currently Zoned R-100

Building Setbacks:
 Front - 35 feet
 Side - 10 feet
 Rear - 40 feet

SURVEYOR'S NOTES:

1. The field data upon which this plat is based has a relative positional accuracy of 0.02 feet.
2. This plat has been calculated for closure and has a mathematical error of 1: 300,000+.
3. Field angles and measurements acquired for the production of this plat were obtained on 08/23/24 using a Leica TCRP 1203 Total Station.
4. This plat was prepared without benefit of a current title examination. Easements or other encumbrances may exist which are not shown hereon. All matters pertaining to title are excepted.
5. No provisions have been made to secure the delineation of any wetlands, historical, or cultural features that may exist on this property.
6. Information regarding the reputed presence, size, character, and location of existing underground utilities and structures is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures shown hereon may be inaccurate and utilities and structures not shown may be encountered. The owner, his employees, his consultants, his contractors and/or his agents shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information shown hereon as to such underground installations.
7. The certification, as shown hereon, is purely a statement of professional opinion based on knowledge, information and belief; and based on existing field evidence and documentary evidence available. The certification is not an expressed or implied warranty or guarantee.

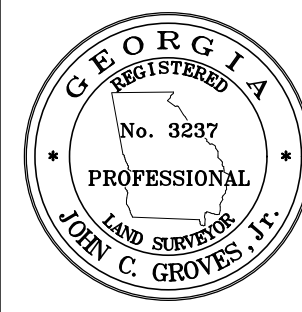


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	172.90'	65.50'	65.11'	N 50°09'16" W
C2	313.30'	74.98'	74.80'	N 17°01'50" E

AREA
 17,868 SQ.FT.
 0.41 ACRES



SURVEYOR'S CERTIFICATION
 This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



John C. Groves, Jr. RLS 3237

FOOTHILLS
 LAND SURVEYING
 3380 TRICKUM ROAD
 BUILDING 300
 WOODSTOCK, GA 30188
 (678) 533-8637
 www.foothillslandsurveying.com
 GA LSF #1152

BOUNDARY SURVEY PREPARED FOR
NICHOLAS LOUIS DESOUTTER
LORI DESOUTTER
 DUNWOODY STATION SUBDIVISION
 UNIT ONE
 LOT 13 BLOCK "C"
 LOCATED IN LAND LOT 364
 18TH DISTRICT
 DEKALB COUNTY, GEORGIA
 CITY OF DUNWOODY

DATE: 08/28/24
SCALE: 1"=30'
DRAWING: 24-269
COORD:
REVISIONS:
DB. 16840, PG. 60
PB. 69, PG. 149
SHEET #: 1 of 1

RESERVED FOR THE CLERK OF COURTS

LEGEND AND SYMBOLS USED

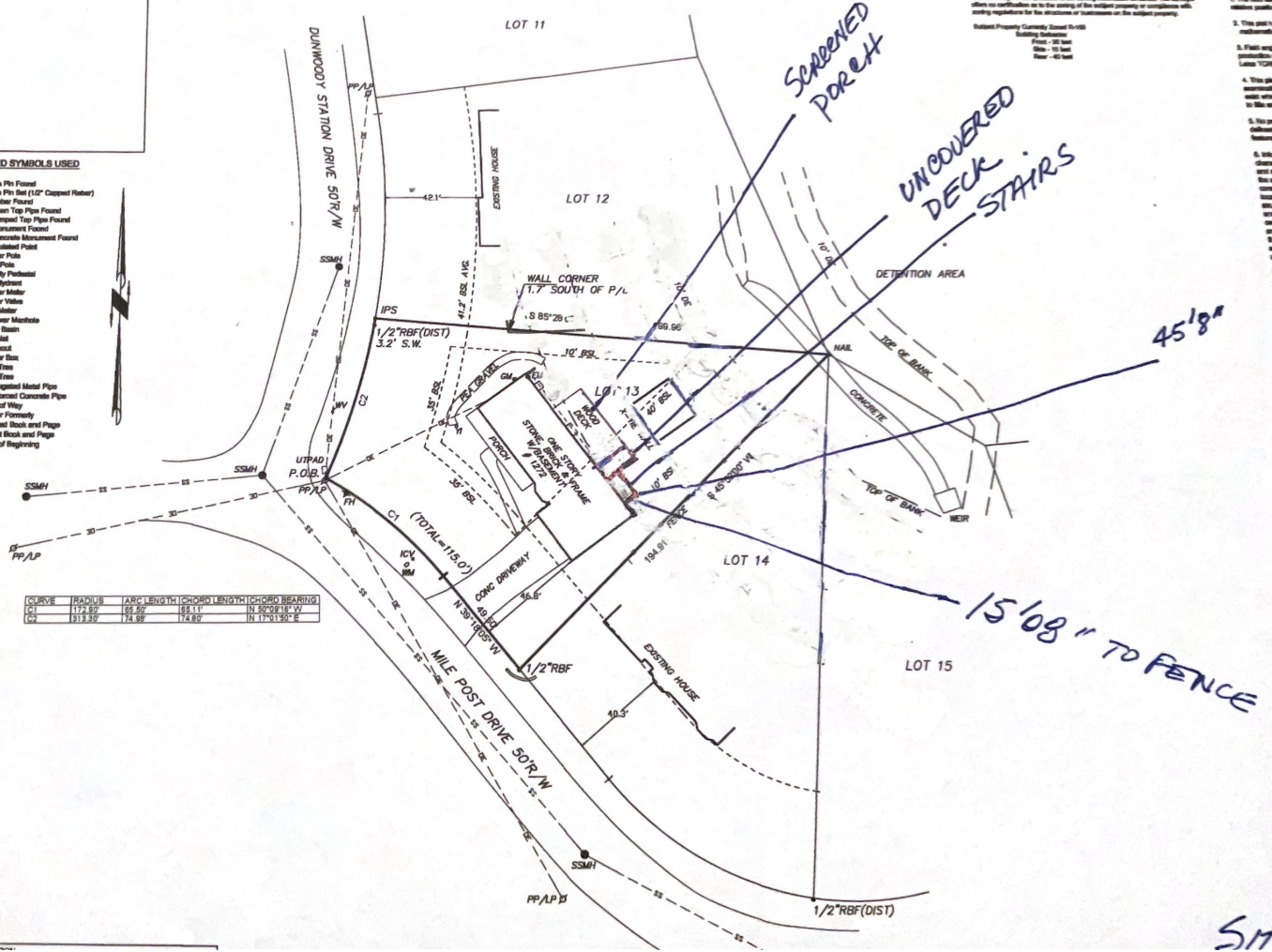
- IPF - Iron Pin Found
- IPB - Iron Pin Box (1/2" Copied Rubber)
- RPF - Rubber Found
- OTF - Open Top Pipe Found
- CTF - Closed Top Pipe Found
- MCM - Monument Found
- CMF - Concrete Monument Found
- CP - Calculated Point
- PP - Power Pole
- LP - Light Pole
- UP - Utility Pole
- FH - Fire Hydrant
- WM - Water Meter
- WV - Water Valve
- GM - Gas Meter
- SMH - Sewer Manhole
- CB - Catch Basin
- DI - Drop Inlet
- CO - Cleanout
- PDB - Power Box
- DT - Disturbance Tree
- C - Circulation Tree
- CMP - Corrugated Metal Pipe
- RCP - Reinforced Concrete Pipe
- RW - Right of Way
- N-F - New or Formerly
- DB, PG - Dashed Block and Page
- PB, PG - Plat Block and Page
- PCB - Point of Beginning

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	172.87'	82.50'	83.11'	N 50°08'10" W
C2	113.37'	14.89'	14.89'	N 17°33'24" E

OWNER'S STATEMENT
 Any graphic notation or network lines and other notations of surveying instruments are the owner's representation of the existing information furnished. The owner warrants that the information is true and correct to the best of his knowledge and belief and that the same are in compliance with the applicable laws and regulations for the state of Missouri on the subject property.

Deputy Property Clerk: James D. Cook
 Building Number: _____
 Plot: 50 feet
 Area: 10 feet
 Row: 40 feet

1. The field data was obtained by the surveyor.
2. The field data was checked by the surveyor.
3. The field data was checked by the surveyor.
4. The field data was checked by the surveyor.
5. The field data was checked by the surveyor.
6. The field data was checked by the surveyor.



SM



CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633

PROJECT: _____ JOB NO.: 5708R4

DRAWN BY: RAJENDRA DATE: 06/07/2024 CHECKED BY: T.K. DATE: _____
08/22/2024 (REVISION PER CLIENT)

PROJECT TITLE:

DESIGN OF A NEW COVERED SCREEN PORCH
AND OPEN LUMBER DECK AT REAR OF THE
HOUSE

FOR:

ADDRESS:

1275 MILE POST DRIVE, DUNWOODY, GA

JURISDICTION:

CITY OF DUNWOODY

BUILDER / CLIENT:

HORIZON HOMES REMODELING

IMPORTANT NOTES:

1. THE BUILDER/CLIENT SHOULD CALL CONSULTING ENTERPRISES, CORPORATION (CEC) FOR INSPECTIONS AT APPROPRIATE STAGES. OTHERWISE, CEC WILL NOT BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF THE CONSTRUCTED / MODIFIED STRUCTURE.
2. PLEASE CALL CEC AT (770) 614-1633 TO REQUEST ANY INSPECTIONS.
3. THIS DESIGN IS SPECIFICALLY FOR THE CONDITIONS AVAILABLE AT THE SITE FOR THIS PROJECT. THIS DESIGN SHOULD NOT BE INTERPOLATED OR EXTRAPOLATED FOR ANY OTHER PROJECT OR CONDITION.

NOTES:

1. EXISTING HOUSE UNDER REFERENCE IS A LUMBER STRUCTURE CONSTRUCTED OVER A BASEMENT. THE HOUSE HAS PARTIAL BRICK VENEER AND PARTIAL SIDING AT THE EXTERIOR. THE HOUSE HAS TWO OPEN LUMBER DECKS AT FIRST FLOOR LEVEL ATTACHED TO HOUSE REAR PERIMETER WALL. ONE OF THE DECK HAS LUMBER STAIRS LEADING FROM DECK TO HOUSE BACKYARD. THE CLIENT WISHES TO DEMOLISH THE EXISTING LUMBER DECKS AND STAIRS. THE CLIENT WISHES TO CONSTRUCT NEW ONE (1) LUMBER DECK AT FIRST FLOOR LEVEL, ATTACHED TO HOUSE REAR PERIMETER WALL. PART OF NEW LUMBER DECK WILL BE COVERED TO CREATE A SCREEN PORCH AND OTHER PART WILL BE OPEN DECK.
2. THE CLIENT HAS REQUESTED CONSULTING ENTERPRISES CORPORATION (CEC) TO PROVIDE DESIGN DETAILS FOR PROPOSED COVERED AND OPEN DECK AT HOUSE REAR. PER CLIENT'S REQUEST, CEC IS PROVIDING DESIGN DETAILS AS UNDER:
 - 2.1 REAR ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR. SHEET A200.
 - 2.2 RIGHT ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR. SHEET A201.
 - 2.3 LEFT ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR. SHEET A202.
 - 2.4 PARTIAL PLAN: LOCATION OF EXISTING LUMBER DECKS - TO BE DEMOLISHED (EXISTING CONDITIONS). SHEET S200.
 - 2.5 PARTIAL PLAN: FOUNDATION DESIGN FOR PROPOSED OPEN LUMBER DECK AND LUMBER SCREEN PORCH AT HOUSE REAR. SHEET S201.
 - 2.6 PARTIAL PLAN: DESIGN OF NEW OPEN LUMBER DECK AND SCREEN PORCH AT FIRST FLOOR LEVEL AT HOUSE REAR - PROPOSED CONDITIONS. SHEET S202.
 - 2.7 PARTIAL PLAN: DESIGN OF SHED ROOF FRAMING OVER SCREEN PORCH AT HOUSE REAR. SHEET S203.
 - 2.8 SECTION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL. PER $\textcircled{S300}$.
 - 2.9 SECTION: CONNECTION DETAILS BETWEEN CONCRETE FOOTING, 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL. PER $\textcircled{S300}$.
 - 2.10 PARTIAL ELEVATION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL. PER $\textcircled{S300}$ ^{2A}.
 - 2.11 PARTIAL ELEVATION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL. PER $\textcircled{S300}$ ^{2B}.
 - 2.12 SECTION: NEW CONCRETE FOOTING FOR NEW LUMBER COLUMN NEXT TO EXISTING HOUSE FOOTING, TYPICAL. PER $\textcircled{S300}$ ³.
 - 2.13 SECTION: DECK BEAM ATTACHMENT, TYPICAL. PER $\textcircled{S300}$.
 - 2.14 SECTION: DECK BEAM AND LUMBER COLUMN ALONG HOUSE REAR, TYPICAL. PER $\textcircled{S300}$ ^{1A}.
 - 2.15 PARTIAL ELEVATION: BOLT PATTERN FOR DECK BEAM ATTACHMENT FOR LUMBER DECK / PORCH FLOOR, TYPICAL. PER $\textcircled{S300}$ ².
 - 2.16 PARTIAL ELEVATION: BOLT PATTERN FOR ROOF BAND ATTACHMENT, TYPICAL. PER $\textcircled{S300}$ ³.
 - 2.17 SECTION: CONCRETE FOOTING FOR STAIRS AND LANDING SLAB DETAILS. PER $\textcircled{S300}$ ⁴.
 - 2.18 ELEVATION: DECK BRACING AT CORNERS COLUMNS, TYPICAL. PER $\textcircled{S300}$ ¹.
 - 2.19 ELEVATION: DECK BRACING AT INTERMEDIATE COLUMNS, TYPICAL. PER $\textcircled{S300}$ ².
 - 2.20 SECTION: COVERED PORCH FRAMING DETAILS, TYPICAL. SHEET S303.
 - 2.21 SECTION: ROOF LUMBER COLUMN SUPPORT DETAILS, TYPICAL. SHEET S303A.
 - 2.22 ELEVATION: TYPICAL GUARD DETAILS, TYPICAL. PER $\textcircled{S400}$ ¹.
 - 2.23 SECTION: NOTCHING AND GUARD POST, TYPICAL. PER $\textcircled{S400}$ ².
 - 2.24 SECTION: GUARD POST ATTACHMENT DETAILS, TYPICAL. PER $\textcircled{S400}$ ³.
 - 2.25 GUARD POST-TO-OUTSIDE JOIST DETAIL, TYPICAL. PER $\textcircled{S400}$ ⁴.
 - 2.26 GUARD POST-TO-RIM JOIST DETAIL, TYPICAL. PER $\textcircled{S400}$ ⁵.
3. ALL THE DIMENSIONS SHOWN IN THE ATTACHED SHEETS ARE OBTAINED USING A HAND HELD TAPE MEASURER AND ARE, THEREFORE, APPROXIMATE. THE PROPOSED DIMENSIONS OF NEW COVERED AND OPEN DECKS WERE PROVIDED TO CEC BY THE CLIENT.
4. NO OTHER STRUCTURAL, NON-STRUCTURAL, FOUNDATION OR FRAMING MEMBERS OF THE EXISTING HOUSE WERE INSPECTED OR ANALYZED BY CEC.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS SITE CONDITIONS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
6. BEFORE COMMENCING ANY REMEDIAL WORK PER THE RECOMMENDATIONS GIVEN IN THESE PLANS, THE CONTRACTOR MUST PROVIDE ADEQUATE TEMPORARY SHORING TO SUPPORT THE EXISTING FRAMING, AND ALSO PROVIDE OTHER SAFETY MEASURES AS REQUIRED.
 1. THE STRUCTURE IS SELF SUPPORTING ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE DESIGN, ADEQUACY, SAFETY AND STABILITY OF THE TEMPORARY ERECTION BRACING AND SHORING. CEC SHALL HAVE NO LIABILITY TO THE OWNER OR TO OTHERS FOR ACTS OR OMISSIONS OF THE CONTRACTOR(S) TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CURRENT PREVAILING BUILDING CODES, WITHIN ACCEPTABLE BUILDING STANDARDS, AND AS STATED IN THESE RECOMMENDATIONS. CEC WILL ASSUME NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURE OR SAFETY PRECAUTIONS INCIDENT THERETO.

SHEET NO:
S100

OF
14

DATE:
06/07/2024

REV.
08/22/2024

DESIGN OF A NEW COVERED SCREEN PORCH AND
OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1275 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

SCALE:
N.T.S.

SCALE:
N.T.S.

BUILDER / CLIENT: HORIZON HOMES REMODELING



CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633

RSN/5108R4

NOTE: THE DESIGNS DEPICTED IN THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE NOT TO BE RELEASED TO THIRD PARTIES FOR REPRODUCTION OR ANY DERIVATIVE WORKS OR WORKING DRAWING PRODUCTION. THESE DESIGNS AND SUBSEQUENT WORKING DRAWINGS ARE THE PROPERTY OF CONSULTING ENTERPRISES, CORP., AND ARE ALSO NOT TRANSFERABLE TO OTHER PARTIES EXCEPT AS APPROVED IN WRITING BY CONSULTING ENTERPRISES, CORP.



1
A200 REAR ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR
SCALE: 1/8" = 1'-0"

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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

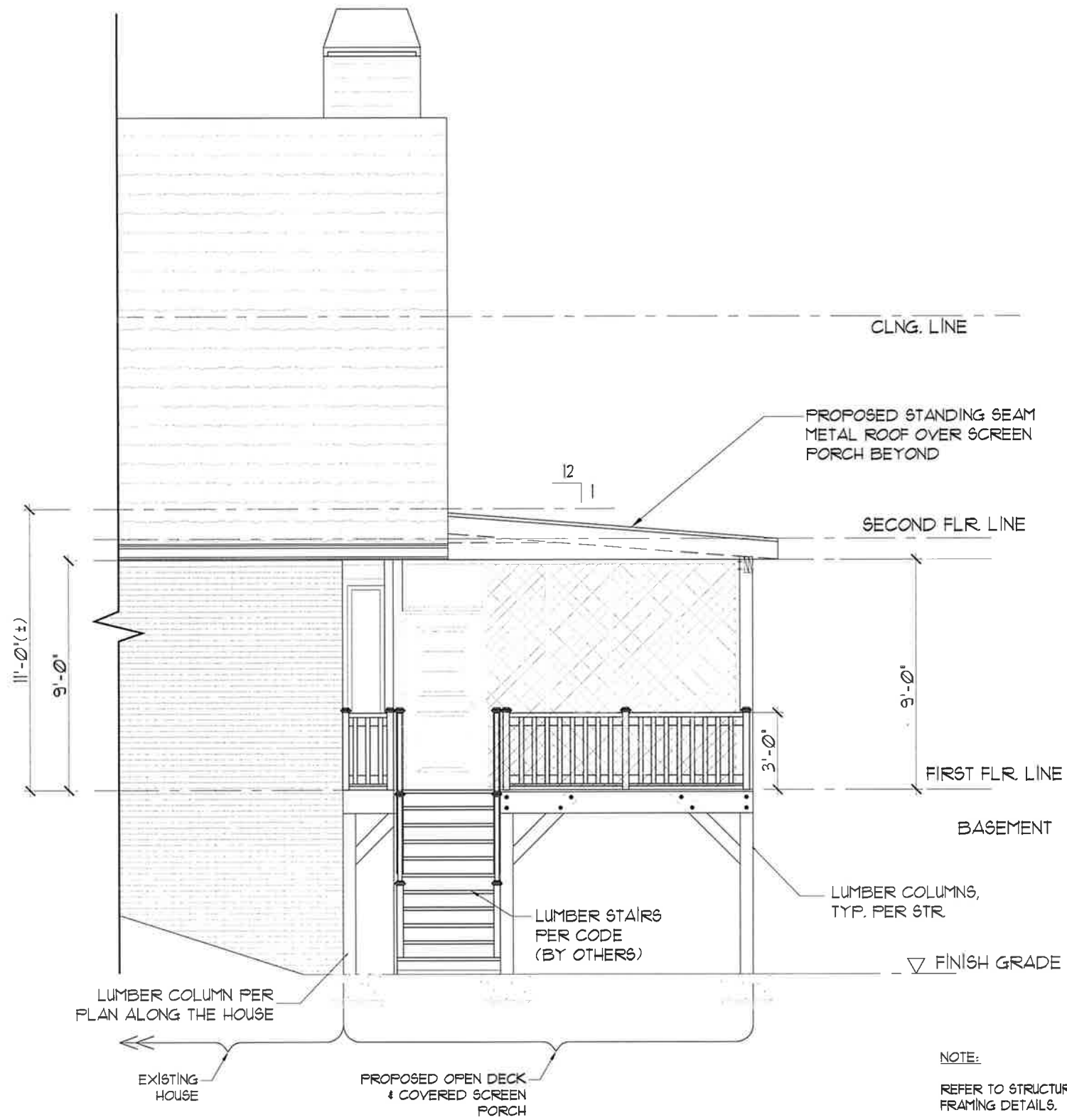
BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV. 08/22/2024

SCALE: N.T.S.

SHEET NO.: A200 OF 14

R6N/5108R4



1
A201
RIGHT ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR
 SCALE: 3/16"=1'-0"

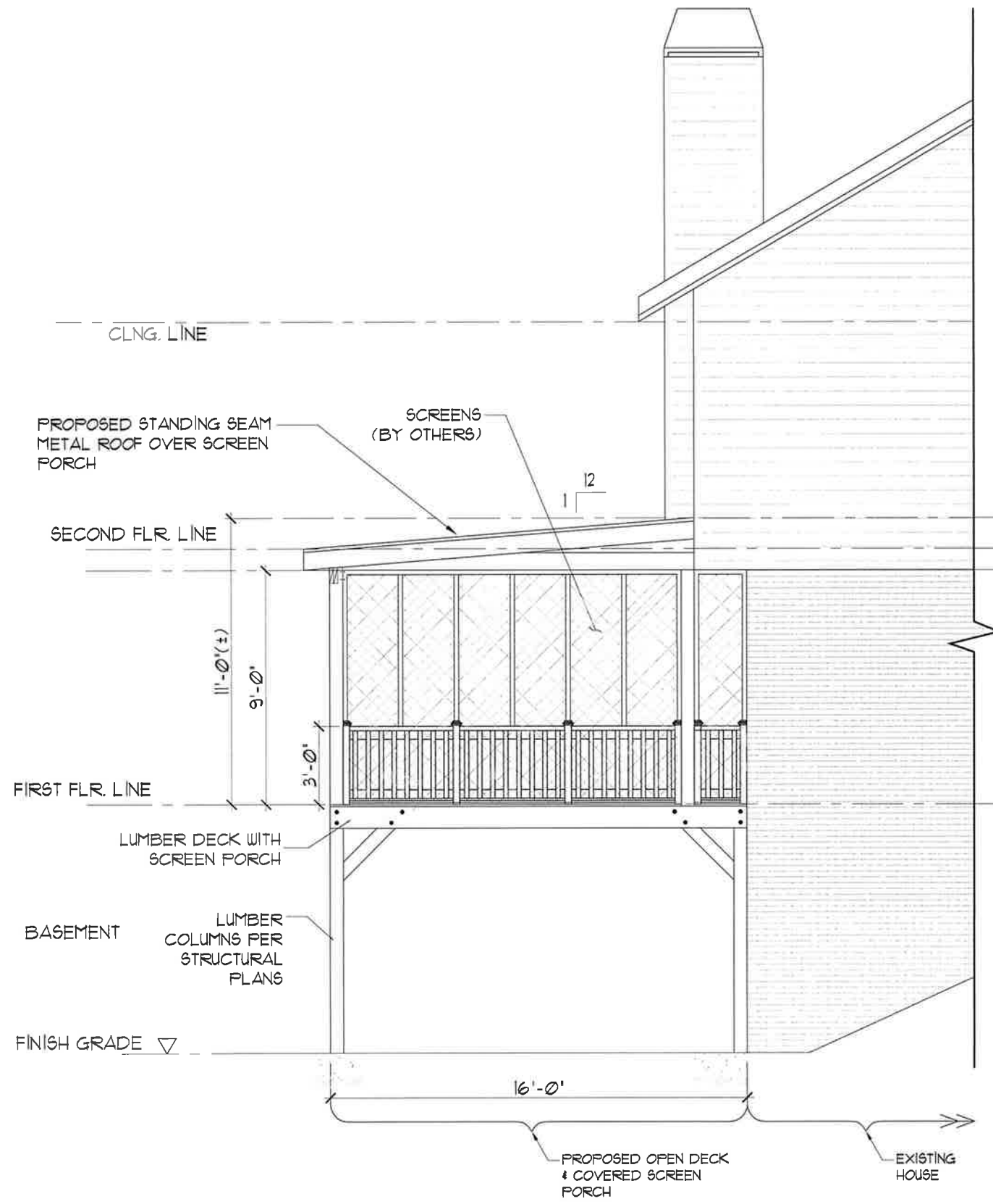


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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE
 ADDRESS: 1275 MILE POST DRIVE, DUNWOODY, GA
 JURISDICTION: CITY OF DUNWOODY
 BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE:	06/07/2024	SCALE:	N.T.S.
REV.	08/22/2024	SHEET NO.:	A201
		OF	14
			R5N/5108R4



NOTE:
REFER TO STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING DETAILS.

1
A202 LEFT ELEVATION: PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR
SCALE: 3/16" = 1'-0"



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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA

JURISDICTION: CITY OF DUNWOODY

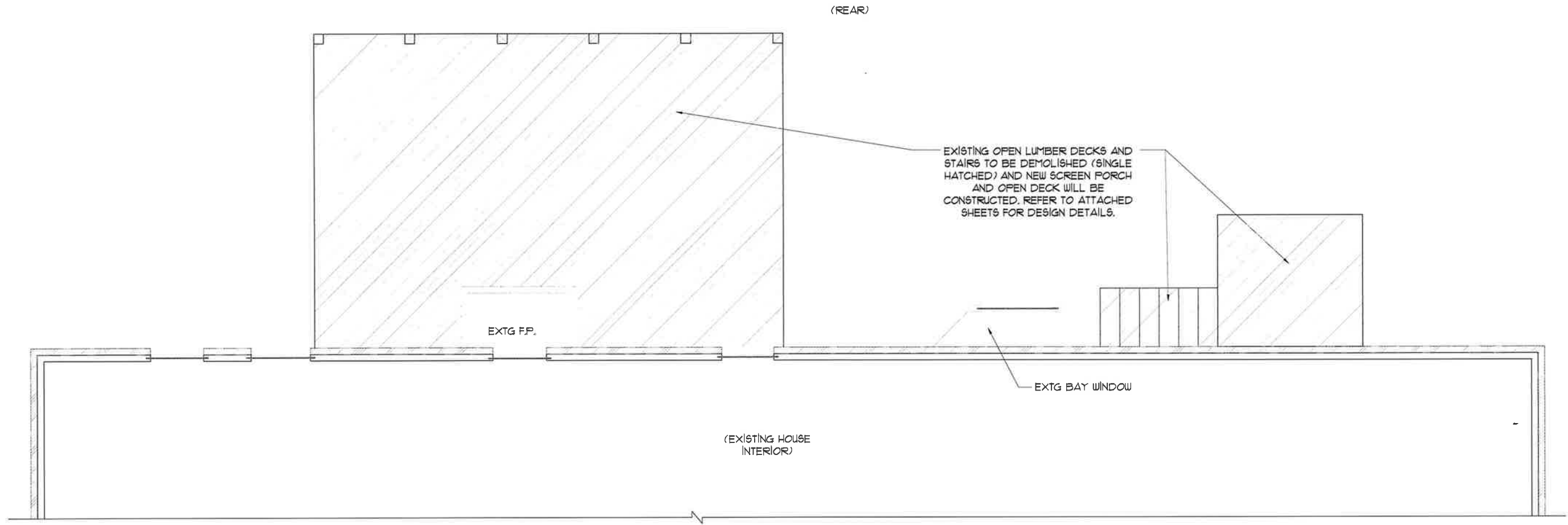
BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV. 08/22/2024

SCALE: N.T.S.

SHEET NO: A202 OF 14

R6N/5T08R4



NOTES:

1. NO OTHER STRUCTURAL, NON-STRUCTURAL, FOUNDATION OR FRAMING MEMBERS OF THE EXISTING HOUSE WERE INSPECTED OR ANALYZED BY CEC OTHER THAN WHAT IS SPECIFIED IN THESE PLANS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS SITE CONDITIONS, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. BEFORE COMMENCING ANY REMEDIAL WORK PER THE RECOMMENDATIONS GIVEN IN THESE PLANS, THE CONTRACTOR MUST PROVIDE ADEQUATE TEMPORARY SHORING TO SUPPORT THE EXISTING FRAMING, AND ALSO PROVIDE OTHER SAFETY MEASURES AS REQUIRED.
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1 PARTIAL PLAN: LOCATION OF EXISTING LUMBER DECKS - TO BE DEMOLISHED
 5200 (EXISTING CONDITIONS)

CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

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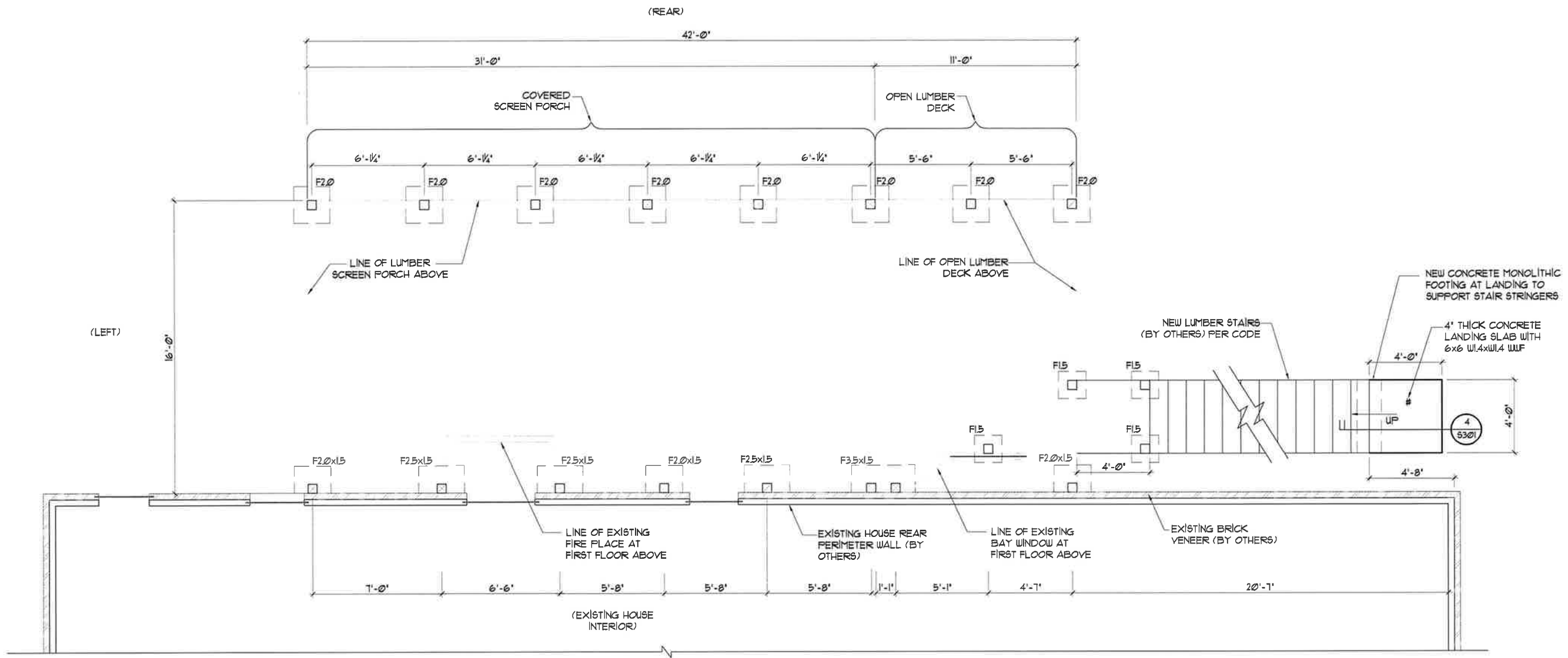
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DATE: 06/07/2024
 REV. 08/22/2024

SCALE: N.T.S.

SHEET NO: 5200 OF 14

R5N/5T08R4



NOTE:
 THE 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI, AND REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF 'MANUAL OF STANDARD PRACTICE', OF THE CONCRETE REINFORCING STEEL INSTITUTE.

LEGEND	
□	NEW 6X6 SP #2 P.T. LUMBER COLUMNS
□	NEW CONCRETE FOOTINGS
F2.0	2'-0"x2'-0"x1'-0" DEEP CONCRETE FOOTING, PER 5301
F1.5	1'-6"x1'-6"x1'-0" DEEP CONCRETE FOOTING, PER 5301
F2.5x1.5	2'-6"x1'-6"x1'-0" DEEP CONCRETE FOOTING, PER 5301
F2.0x1.5	2'-0"x1'-6"x1'-0" DEEP CONCRETE FOOTING, PER 5301
F3.5x1.5	3'-6"x1'-6"x1'-0" DEEP CONCRETE FOOTING, PER 5301

1
 S201 PARTIAL PLAN: FOUNDATION DESIGN FOR PROPOSED OPEN LUMBER DECK AND COVERED LUMBER SCREEN PORCH AT HOUSE REAR

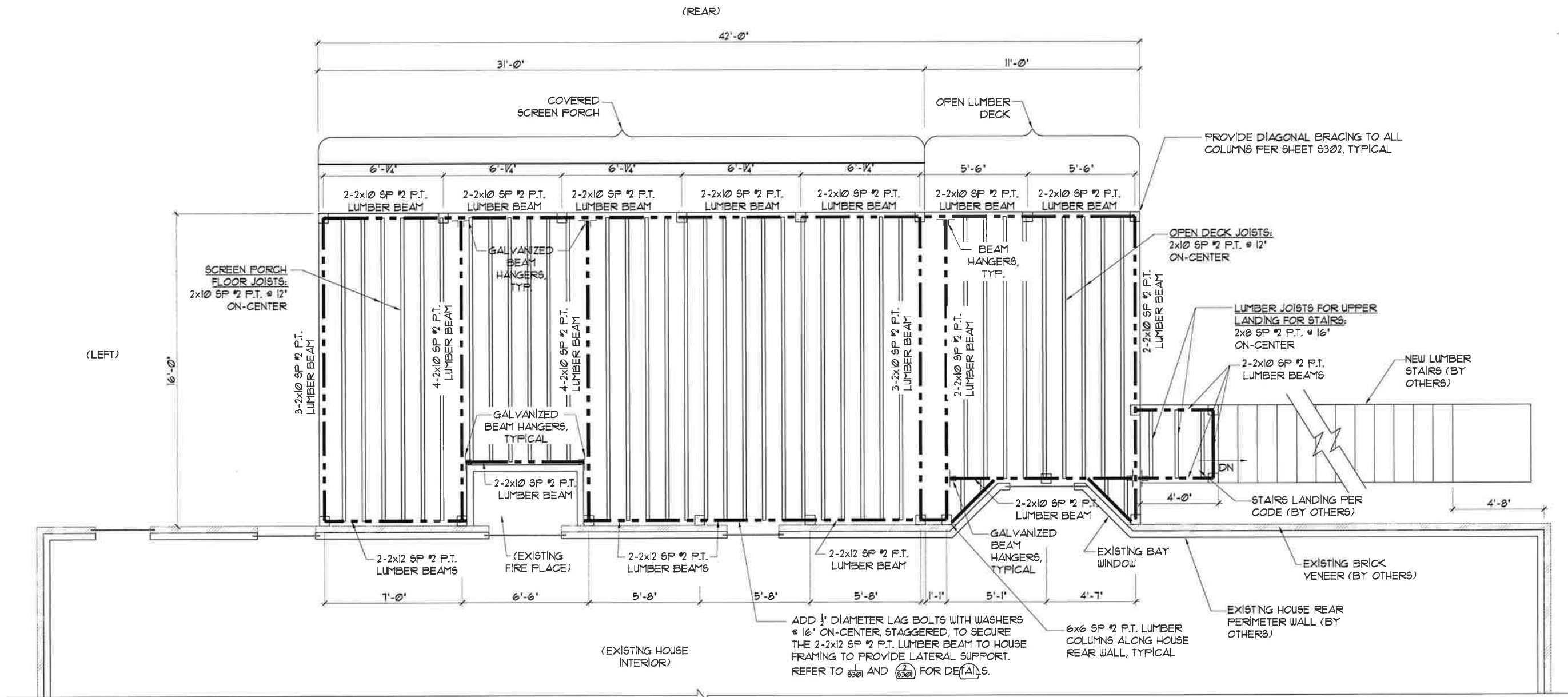
CONSULTING ENTERPRISES, CORP.
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 PHONE: (770) 614-1633

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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE
 ADDRESS: 1275 MILE POST DRIVE, DUNWOODY, GA
 JURISDICTION: CITY OF DUNWOODY
 BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
 REV. 08/22/2024
 SCALE: N.T.S.

SHEET NO: S201 OF 14
 RSN/5T08R4



NOTES:

1. ALL LUMBER FOR SCREEN PORCH AND OPEN LUMBER DECK TO BE SP #2 PRESSURE TREATED (P.T.) FOR EXTERIOR USE.
2. ALL HARDWARE/FASTENERS FOR THE SCREEN PORCH AND DECK TO BE RUST PROTECTED/GALVANIZED.
3. ALL COLUMNS ARE AS NOTED ON THIS PLAN.
4. PROVIDE ADEQUATE SLOPE FOR SCREEN PORCH AND LUMBER DECK.
5. PROVIDE GUARD RAILS PER CODE, AS REQUIRED. REFER SHEET 5400 FOR DETAILS.
6. PROVIDE 2X6 P.T. CONTINUOUS DIAGONAL BRACE NAILED TO THE BOTTOM OF ALL THE SCREEN PORCH JOISTS.
7. ANY SPLICE IN BEAMS TO OCCUR ONLY OVER A POST.
8. PROVIDE CONTINUOUS FLASHING AT THE JUNCTION BETWEEN THE SCREEN PORCH AND HOUSE FRAMING PER CODE.
9. ALL THE DIMENSIONS FOR PROPOSED LUMBER SCREEN PORCH AND OPEN LUMBER DECK AS SHOWN ON THIS AND ATTACHED SHEETS ARE PROVIDED TO CONSULTING ENTERPRISES CORPORATION (CEC) BY THE BUILDER.
10. THE MAXIMUM HEIGHT OF 6X6 LUMBER COLUMNS FOR DECK AND SCREEN PORCH NOT TO EXCEED 12'-0", MEASURED FROM TOP OF FOOTING TO THE UNDERSIDE OF BEAM, TYPICAL.

LEGEND	
□	NEW 6X6 SP #2 P.T. LUMBER COLUMNS
- - - - -	NEW LUMBER BEAMS

1
PARTIAL PLAN: DESIGN OF NEW OPEN LUMBER DECK AND SCREEN PORCH FLOOR AT FIRST FLOOR LEVEL AT HOUSE REAR
S202 - PROPOSED CONDITIONS

CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633

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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA

JURISDICTION: CITY OF DUNWOODY

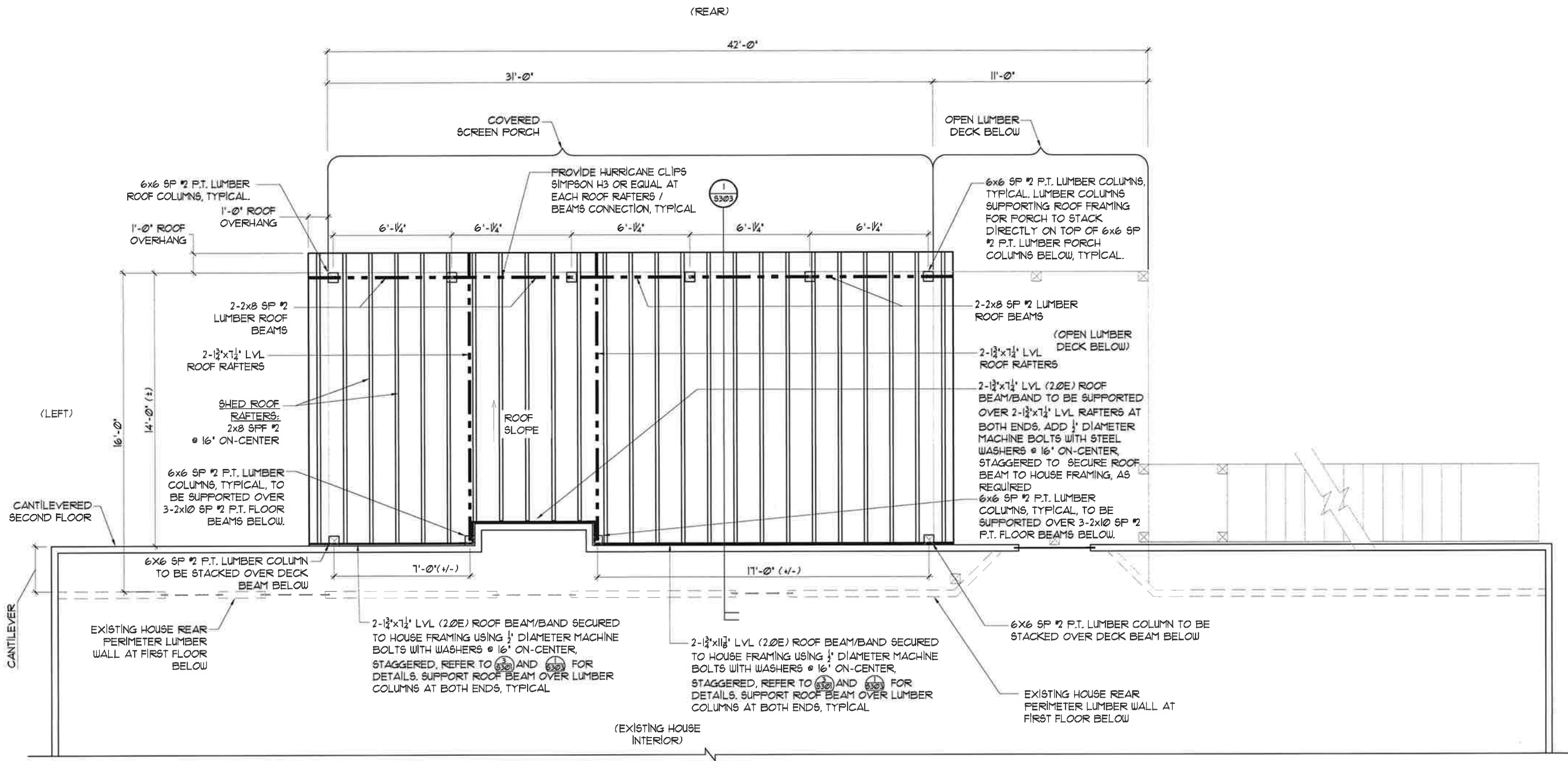
BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV. 08/22/2024

SHEET NO.: S202 OF 14

SCALE: N.T.S.

R&N/5708R4



NOTES:

1. IN ACCORDANCE WITH THE IRC 2018, FOR ROOF SLOPES FROM 2V:12H UP TO 4V:12H, PROVIDE DOUBLE UNDERLAYMENT.
2. IF THE ROOF SLOPE IS LESS THAN 2V:12H, PROVIDE METAL ROOFING.
3. ALL UNTREATED ROOF FRAMING MEMBERS TO BE ADEQUATELY COVERED FOR PROTECTION AGAINST COMING IN CONTACT WITH MOISTURE / RAIN.
4. ANY SPLICE IN ANY BEAM TO OCCUR ONLY OVER A POST.

LEGEND	
□	6x6 SP #2 P.T. LUMBER ROOF COLUMNS
---	LUMBER BEAMS

1
S203

PARTIAL PLAN: DESIGN OF SHED ROOF FRAMING OVER SCREEN PORCH AT HOUSE REAR

CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633



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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

BUILDER / CLIENT: HORIZON HOMES REMODELING

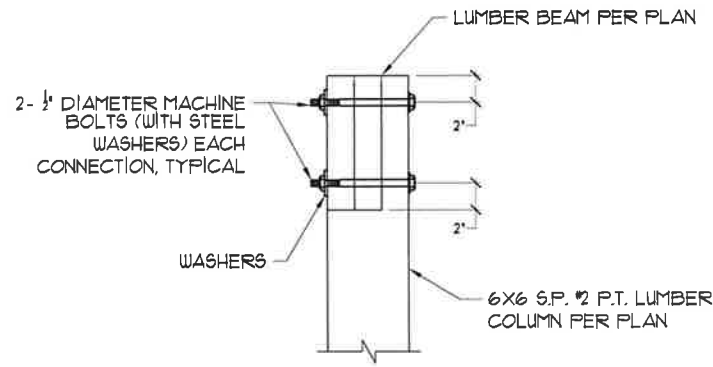
DATE: 06/07/2024
REV.

08/22/2024

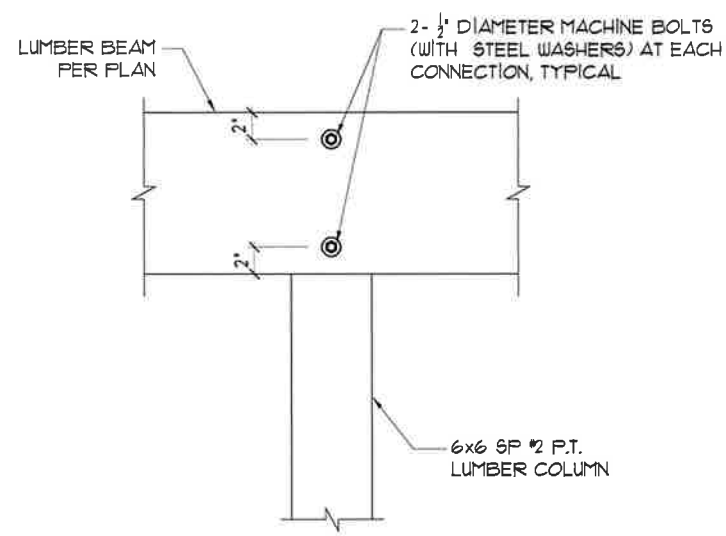
SCALE: N.T.S.

SHEET NO.: S203 OF 14

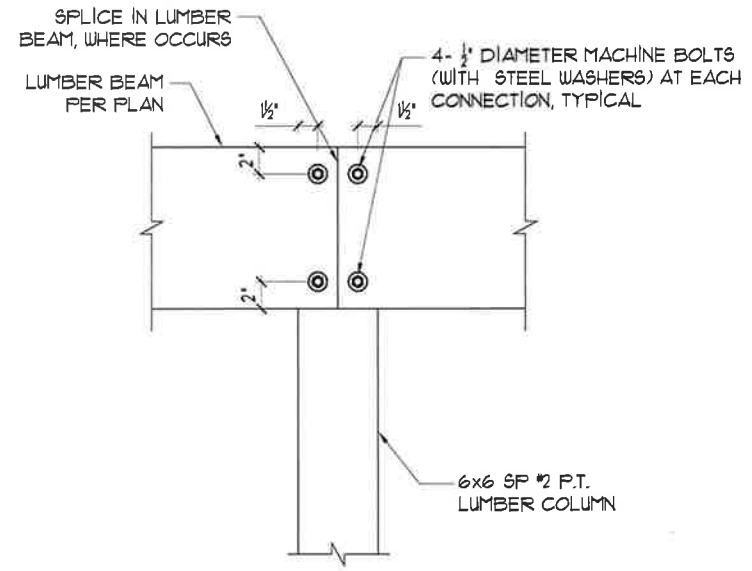
R5N/5708R4



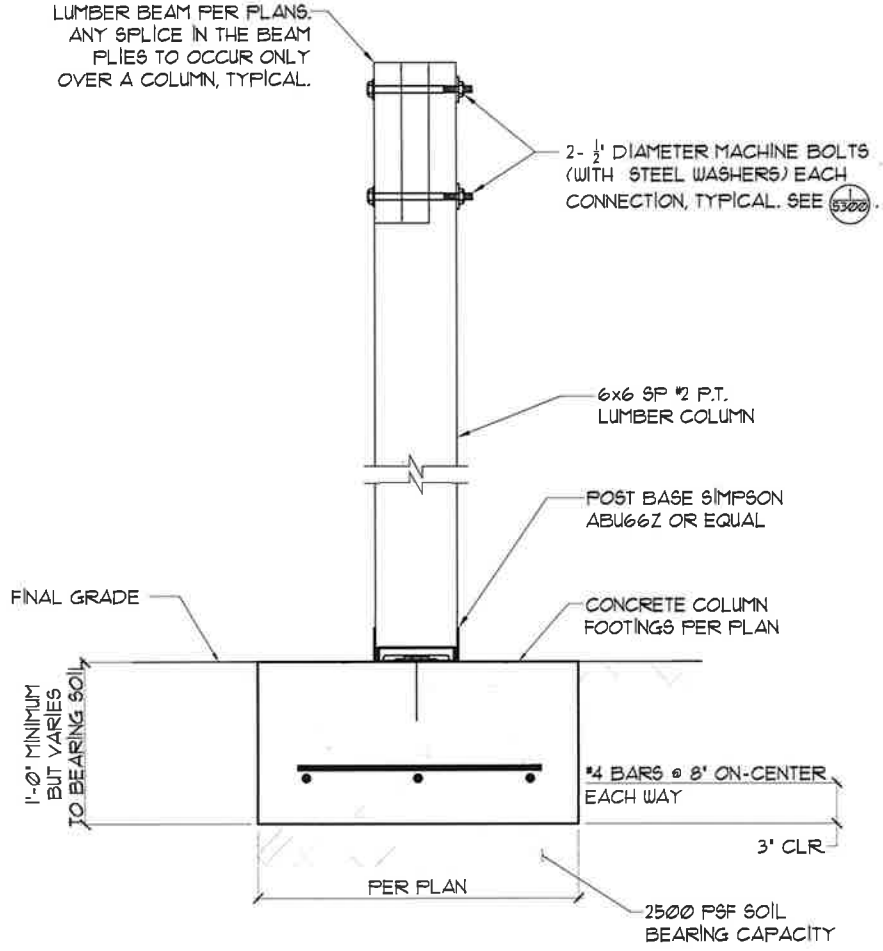
1 SECTION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL



2A PARTIAL ELEVATION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL

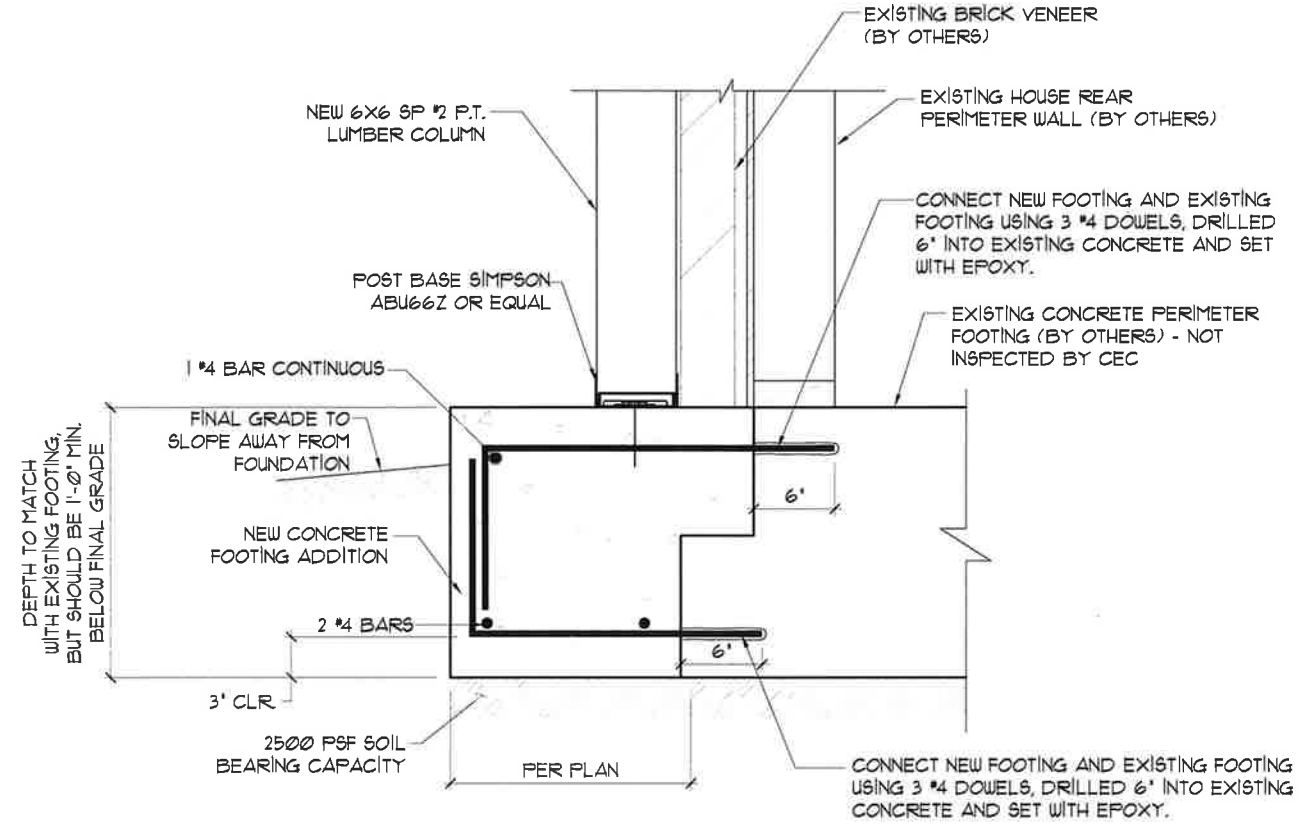


2B PARTIAL ELEVATION: CONNECTION DETAILS BETWEEN 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL



2 SECTION: CONNECTION DETAILS BETWEEN CONCRETE FOOTING, 6x6 LUMBER COLUMN AND 2 PLY LUMBER BEAM, TYPICAL

NOTE: THE 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI, AND REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF 'MANUAL OF STANDARD PRACTICE' OF THE CONCRETE REINFORCING STEEL INSTITUTE.



3 SECTION: NEW CONCRETE FOOTING FOR NEW LUMBER COLUMN NEXT TO EXISTING HOUSE FOOTING, TYPICAL

CONSULTING ENTERPRISES, CORP.
 CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
 PHONE: (770) 614-1633

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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1275 MILE POST DRIVE, DUNWOODY, GA

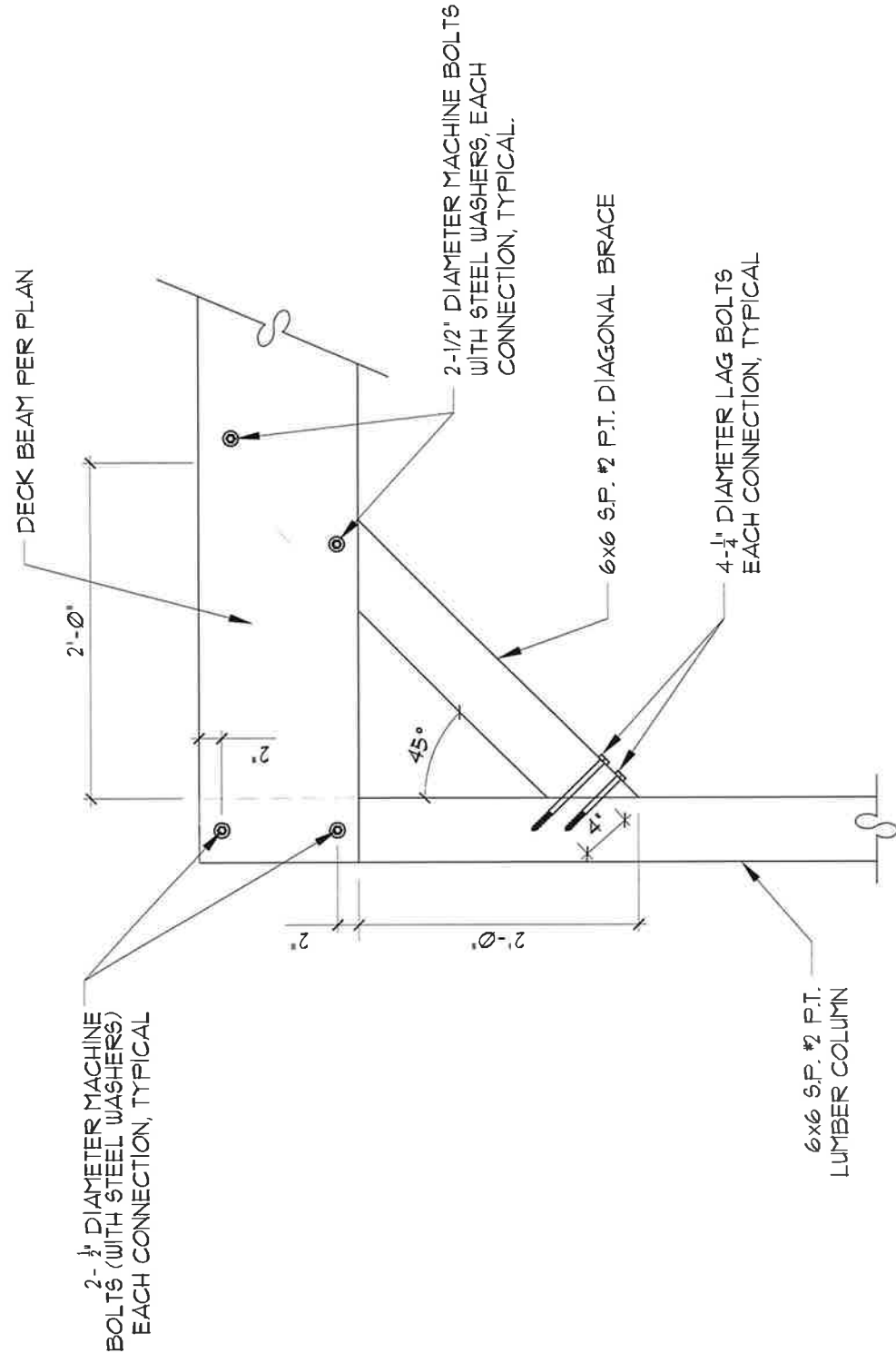
JURISDICTION: CITY OF DUNWOODY

BUILDER / CLIENT: HORIZON HOMES REMODELING

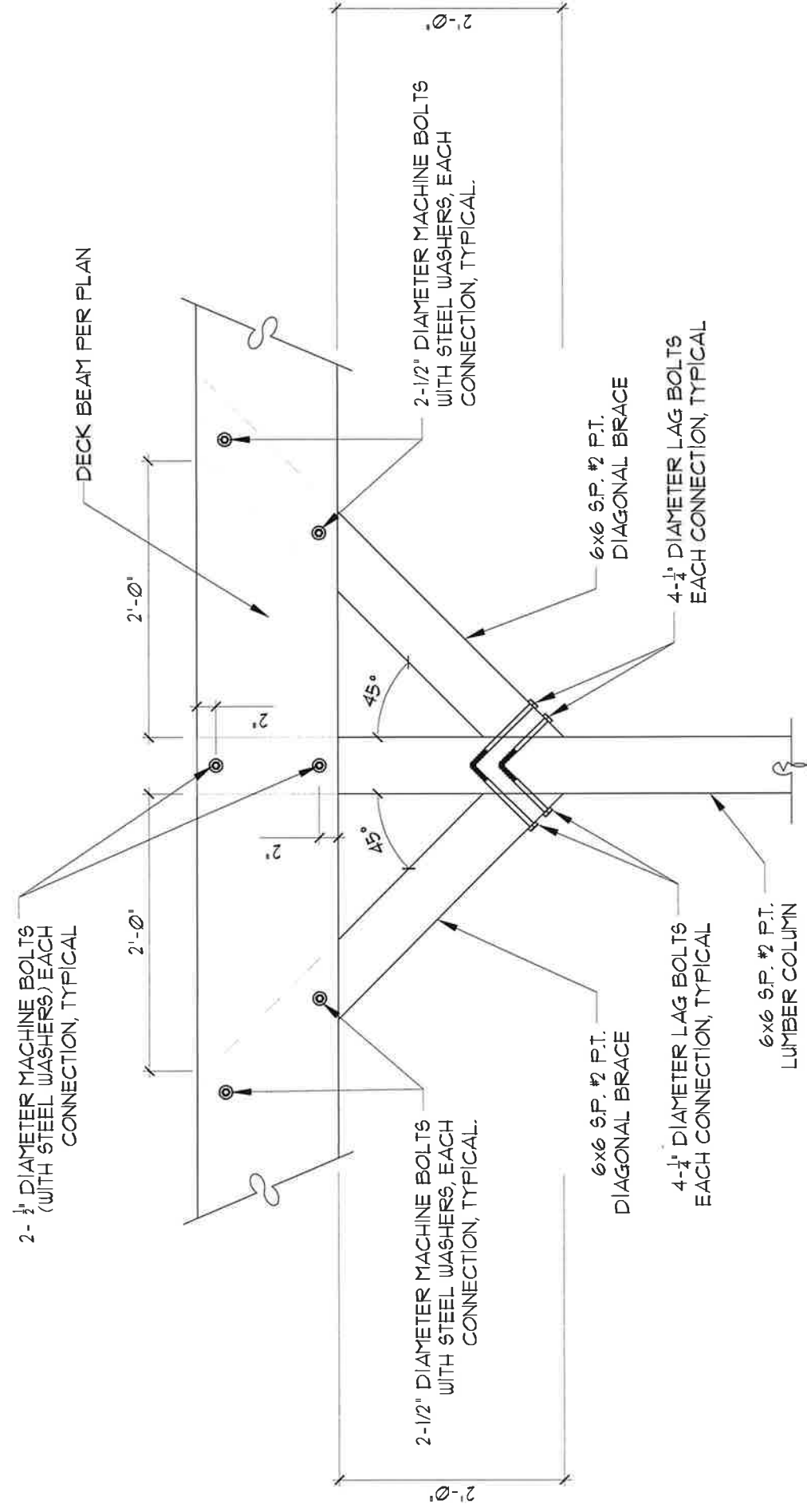
DATE: 06/07/2024
 REV. 08/22/2024

SHEET NO: 14
 S300 OF 14

SCALE: N.T.S.
 R6N/5T08R4



1 ELEVATION: DECK BRACING AT CORNERS COLUMNS, TYPICAL



2 ELEVATION: DECK BRACING AT INTERMEDIATE COLUMNS, TYPICAL

SHEET NO:
S302
OF
14

DATE:
06/07/2024
REV.
08/22/2024

DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA

JURISDICTION: CITY OF DUNWOODY

R6N/5T08R4

SCALE:
N.T.S.

BUILDER / CLIENT: HORIZON HOMES REMODELING

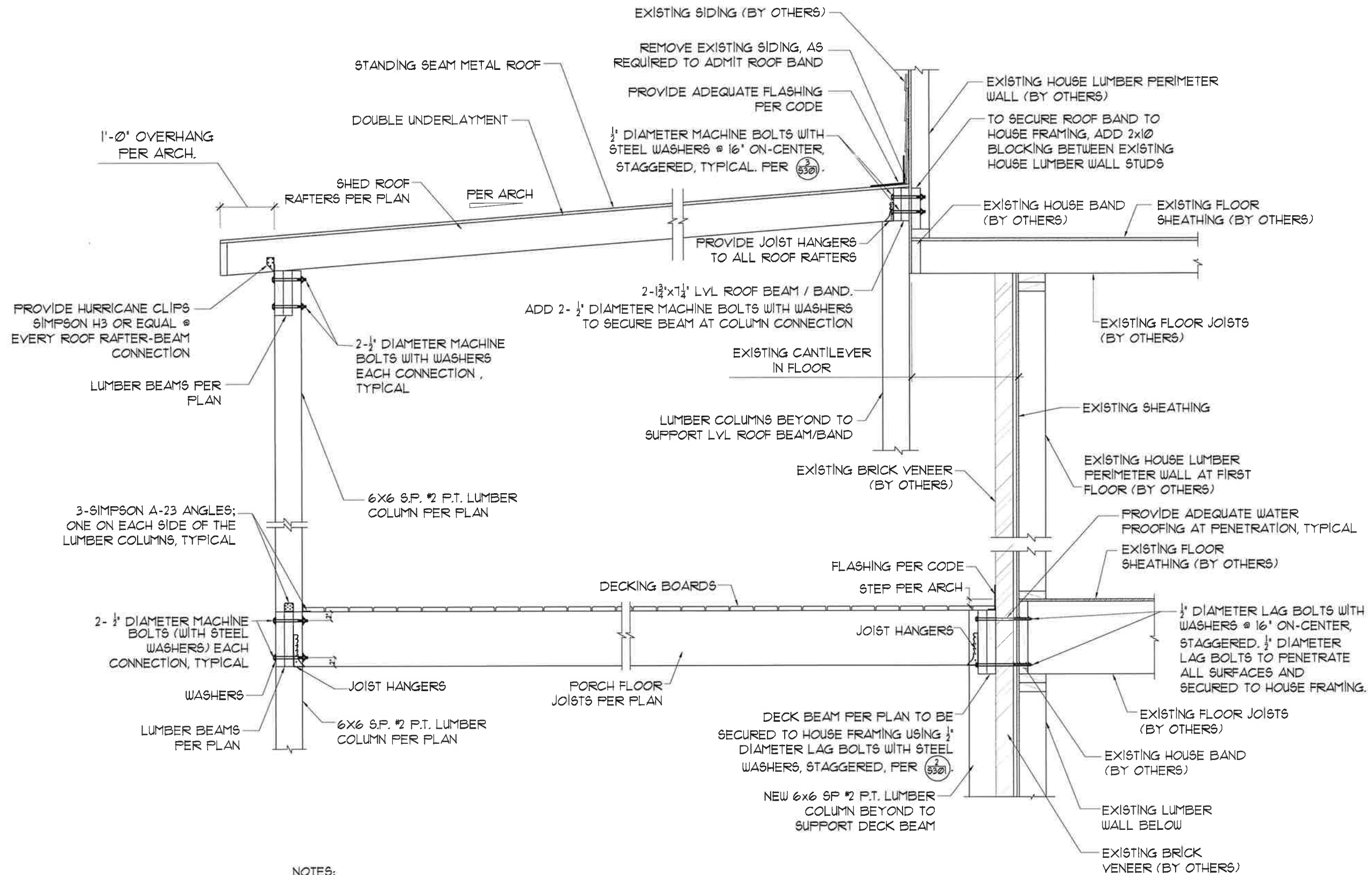


CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS

PHONE: (770) 614-1633

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NOTES:

1. IN ACCORDANCE WITH THE IRC 2018, FOR ROOF SLOPES FROM 2V:12H UPTO 4V:12H, PROVIDE DOUBLE UNDERLAYMENT.
2. IF THE ROOF SLOPE IS LESS THAN 2V:12H, PROVIDE METAL ROOFING.

1
S303

SECTION: COVERED PORCH FRAMING DETAILS, TYPICAL

CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633



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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

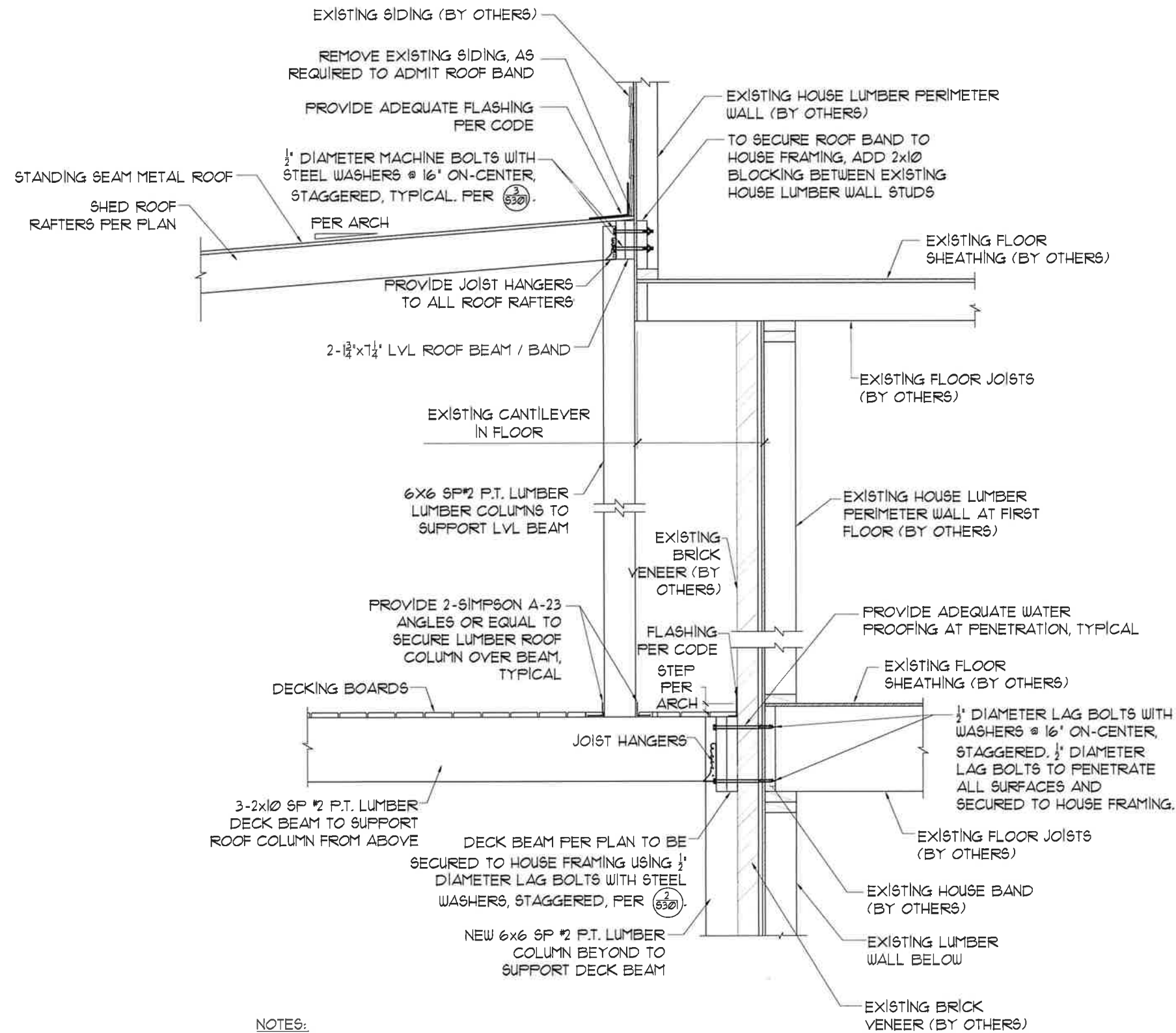
BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV. 08/22/2024

SCALE: N.T.S.

SHEET NO.: S303 OF 14

R6N/5T08R4



NOTES:

1. IN ACCORDANCE WITH THE IRC 2018, FOR ROOF SLOPES FROM 2V:12H UPTO 4V:12H, PROVIDE DOUBLE UNDERLAYMENT.
2. IF THE ROOF SLOPE IS LESS THAN 2V:12H, PROVIDE METAL ROOFING.
3. ALL UNTREATED ROOF FRAMING MEMBERS TO BE ADEQUATELY COVERED FOR PROTECTION AGAINST COMING IN CONTACT WITH MOISTURE / RAIN.

1
S303A

SECTION: ROOF LUMBER COLUMN SUPPORT DETAILS, TYPICAL

CONSULTING ENTERPRISES, CORP.

CIVIL, STRUCTURAL & SOIL ENGINEERING AND INSPECTIONS
PHONE: (770) 614-1633



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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1215 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

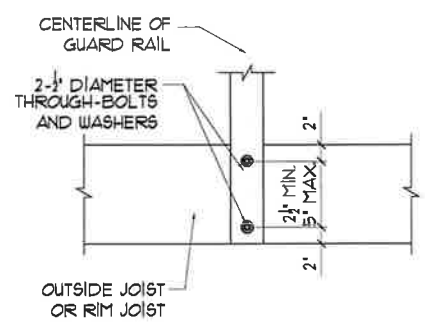
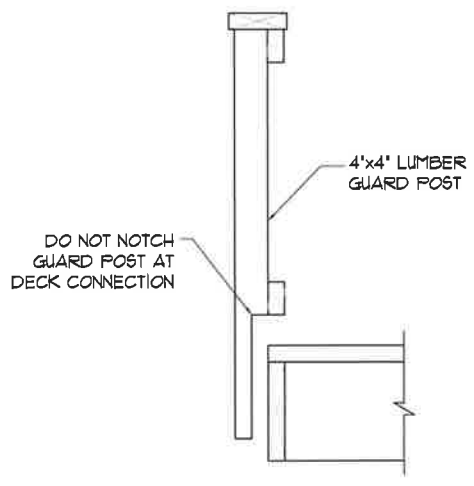
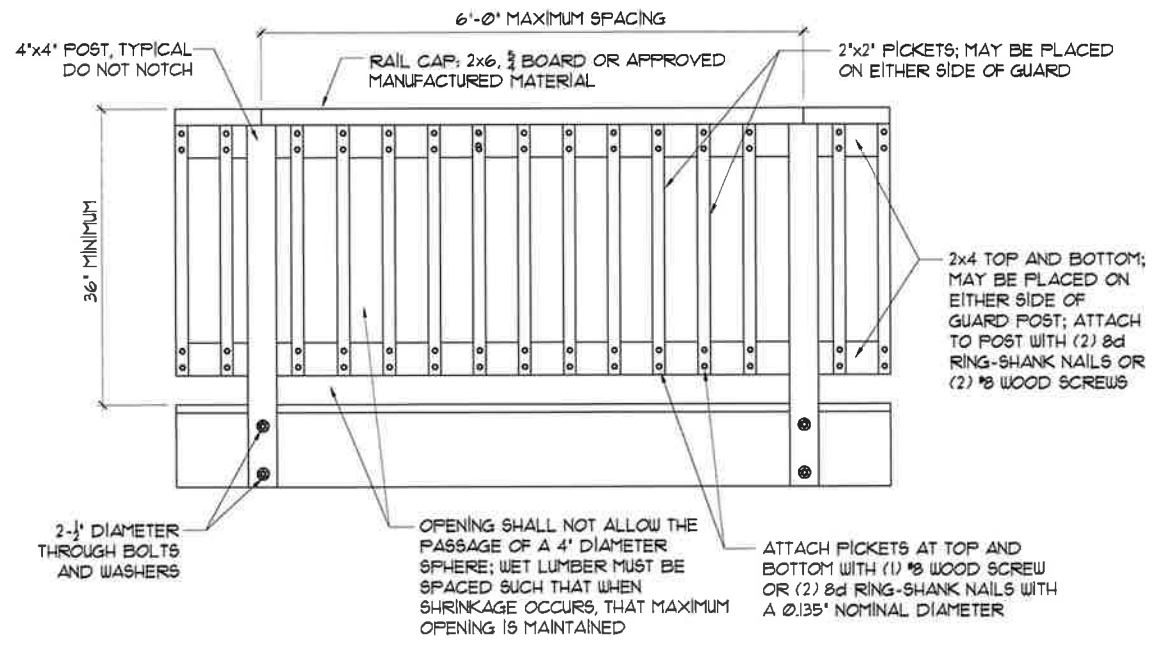
BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV: 08/22/2024

SCALE: N.T.S.

SHEET NO.: 3 OF 14
S303A

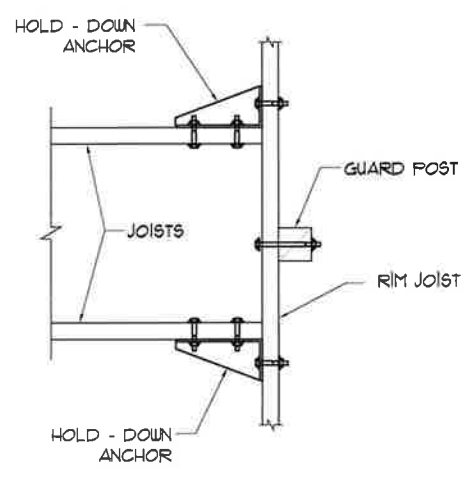
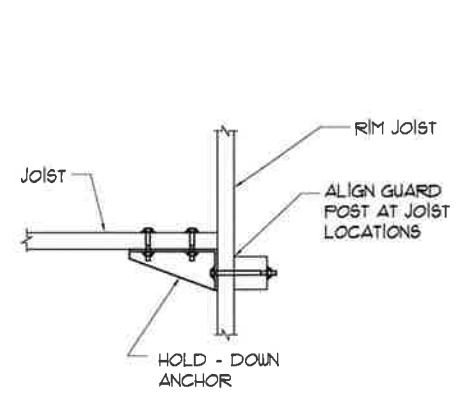
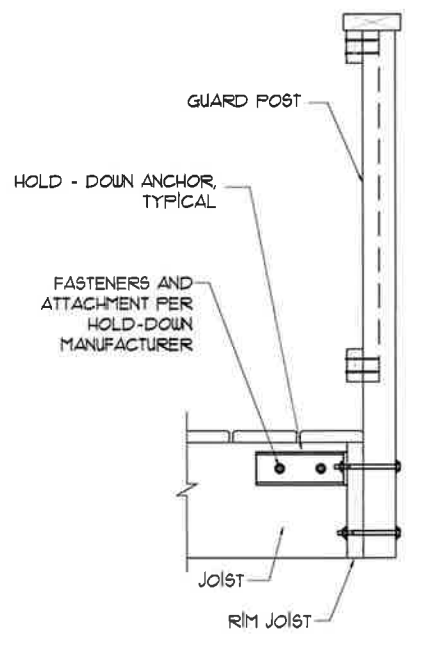
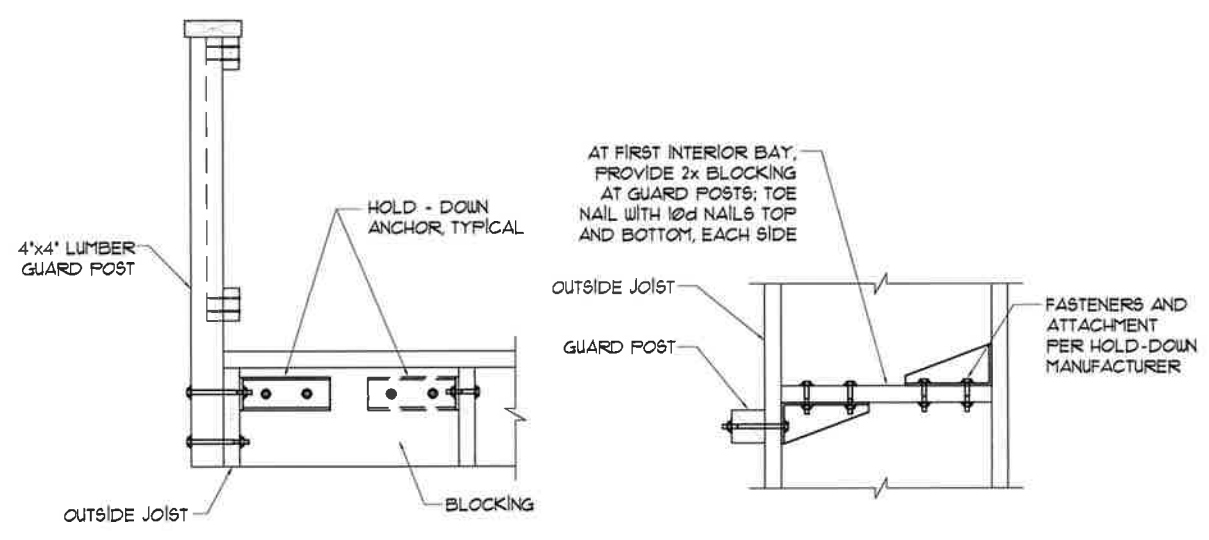
RSN/5T08R4



1 ELEVATION: TYPICAL GUARD DETAILS, TYPICAL
S400

2 SECTION: NOTCHING AND GUARD POST, TYPICAL
S400

3 SECTION: GUARD POST ATTACHMENT DETAILS, TYPICAL
S400



4 GUARD POST-TO-OUTSIDE JOIST DETAIL, TYPICAL
S400

5 GUARD POST-TO-RIM JOIST DETAIL, TYPICAL
S400

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PHONE: (770) 614-1633



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DESIGN OF A NEW COVERED SCREEN PORCH AND OPEN LUMBER DECK AT REAR OF THE HOUSE

ADDRESS: 1275 MILE POST DRIVE, DUNWOODY, GA
JURISDICTION: CITY OF DUNWOODY

BUILDER / CLIENT: HORIZON HOMES REMODELING

DATE: 06/07/2024
REV. 08/22/2024

SCALE: N.T.S.

SHEET NO.: S400 OF 14

R6N/5T08R4



Lori and Nicholas Desoutter
1275 Mile Post Drive
Dunwoody, Ga. 30338
August 25, 2024

RE: Letter of Intent

To the Zoning Board of Appeals:

We are requesting a variance so that we may remove our current 25+ year old dilapidated and rotting wooden deck with a new deck and screened-in porch. Here is our current situation:

1. The grant of the variance will not be detrimental to the public health, safety or welfare, or injurious to the property or improvements;
2. This variance request is based on the fact that our property is an unusual shape. This is not generally applicable to other properties in our zoning district and we did not create this problem. The back edge of our house is seven feet away from the property line which is demarcated with a fence. The shape of our property is unusual and very restrictive.
3. Because of the specific shape of our property and proximity of the neighbor's property line to our house, the strict application of the requirements of this zoning ordinance would deprive us of the rights and privileges enjoyed by other similarly situated property owners. In fact, a few of our nearby neighbors have just put up new decks and porches.
4. The requested variance doesn't go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated properties. We are simply asking for what we need to get the job done - to tear down an old deck that we can no longer use, and replace it with a new deck and screened-in porch. We are requesting the exact same depth for the new deck - 16 feet - as our current deck.
5. The current deck is falling apart and we want a livable space, like many of our neighbors enjoy - a deck and porch. We have two sets of French doors opening to the current deck - and they would open to the new build as well (this is on the second floor of the house). The literal interpretation and strict application of the applicable provisions of this zoning ordinance would cause us an undue hardship and practical difficulty.
6. The requested variance would be consistent with the spirit and purpose of this zoning ordinance and the comprehensive plan.

Thank you for your consideration of this matter.
Best Regards,

Lori and Nicholas Desoutter

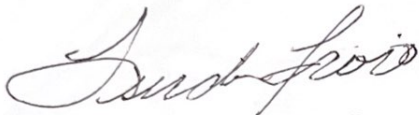
Mrs. Linda Froio
4751 Dunwoody Station Drive
Dunwoody, GA 30338
770 365-8079

August 28, 2024

To whom it may concern:

We live in the property adjacent to Nick and Lori Desoutter's property at 1275 Mile Post Drive.
We would like it known that we are in favor of the Desoutters' plans for removing their rear
decks and replacing them with a new porch and deck.

Sincerely,


Linda Froio

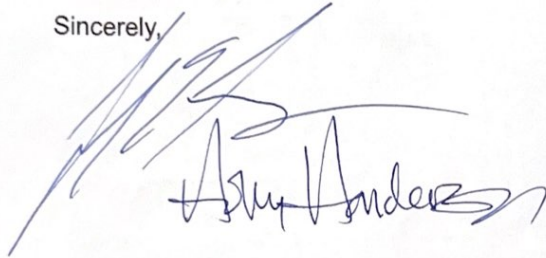
Jeff Finger and Holly Henderson
4748 Dunwoody Station Drive
Dunwoody, GA 30338
770 220-0994 (Jeff)

August 28, 2024

To whom it may concern:

We live across the street from Nick and Lori Desoutter's property at 1275 Mile Post Drive. We would like it known that we are in favor of the Desoutters' plans for removing their rear decks and replacing them with a new porch and deck.

Sincerely,

A handwritten signature in blue ink, appearing to read "Amy Henderson". The signature is written in a cursive style with a large, sweeping initial "A".

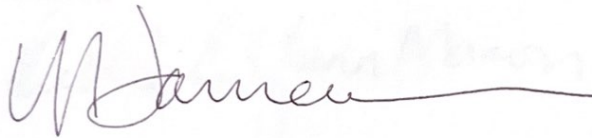
Bill and Carolyn Harness
1285 Mile Post Drive
Dunwoody, GA 30338
404 200-6802 (Bill)

August 28, 2024

To whom it may concern:

We live in the property adjacent to Nick and Lori Desoutter's property at 1275 Mile Post Drive. We would like it known that we are in favor of the Desoutters' plans for removing their rear decks and replacing them with a new porch and deck.

Sincerely,

A handwritten signature in cursive script, appearing to read "Bill Harness", with a long horizontal flourish extending to the right.

Glenn and Debbie Maron
1282 Mile Post Drive
Dunwoody, GA 30338
404 441-1652 (Debbie)

August 28, 2024

To whom it may concern:

We live directly across the street from Nick and Lori Desoutter's property at 1275 Mile Post Drive. We would like it known that we are in favor of the Desoutters' plans for removing their rear decks and replacing them with a new porch and deck.

Sincerely,

Debbie & Glenn Maron