



PERIMETER CENTER ZONING  
CITY OF DUNWOODY

Community  
Development  
**Dunwoody** \*  
\* Smart people – Smart city

**duncan** | associates

**CODAMETRICS**

- Welcome
- Project introduction
- Image preference exercise
- Next steps

# Agenda



- 
- Craft new zoning/design standards
  - Focus on unique character of perimeter center
  - Implement comprehensive plan
  - Integrate with other existing zoning and development regulations
  - Promote investment, development and redevelopment
  - Protect stable neighborhoods, especially on edges
  - Emphasize design and sustainable development practices
  - Promote walkability and transportation options

# Project objectives

## Article 6 Special Purpose Zoning Districts

27-6.10 PC, Perimeter Center District  
RESERVED (future location of district(s) to accommodate PCID uses and development)

27-6.20 PD, Planned Development District

### 27-6.20-A. Purpose and Administration of District

The PD, Planned Development district is intended to permit the planning and development of parcels of land that are suitable in location and character for the uses proposed as unified and integrated developments in accordance with detailed development plans. The PD district is intended to provide a means of accomplishing the following specific objectives:

1. To provide for development concepts not otherwise allowed within non-PD zoning districts;
2. To provide flexibility, unity and diversity in land planning and development, resulting in convenient and harmonious groupings of uses, structures and common facilities;
3. To accommodate varied type design and layout of housing and other buildings;
4. To allow appropriate relationships of open spaces to intended uses and structures;
5. To encourage innovations in residential, commercial, and industrial development.



NOVEMBER 2011

## Perimeter @ The Center - Future Focus

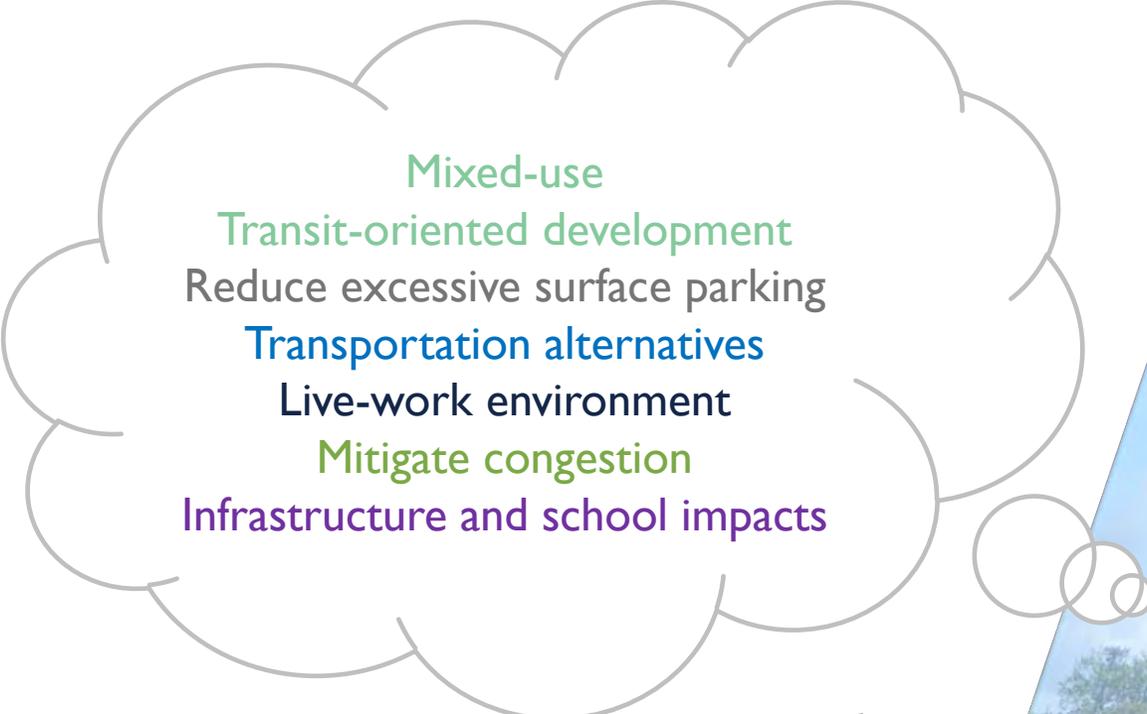
2011 - A Ten Year LCI Update

FUNDED BY: Perimeter Community Improvement Districts (PCIDs) and  
Atlanta Regional Commission

PREPARED BY: Sizemore Group in collaboration with Huntley Partners and Kimley-Horn and Associates



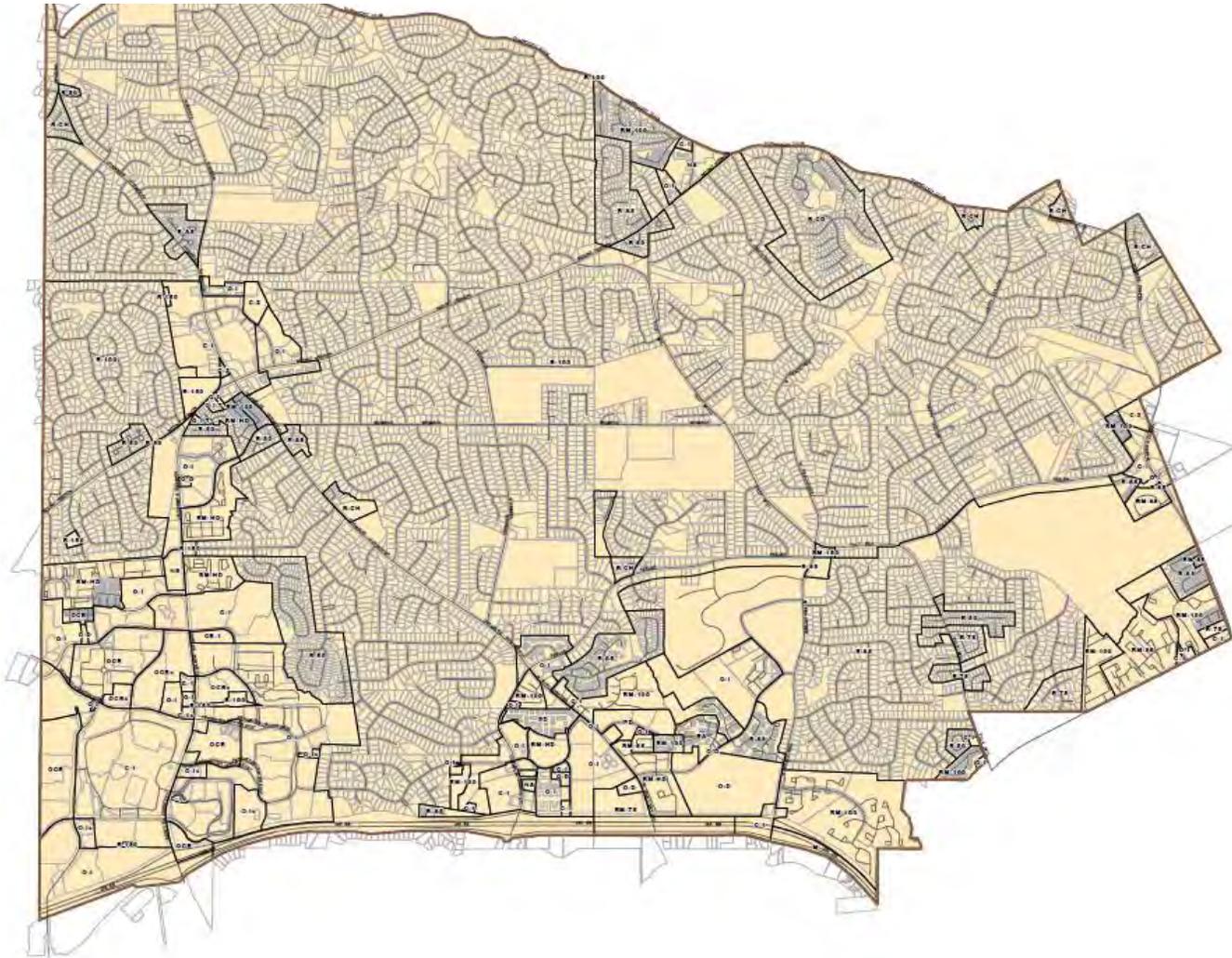
# Project objectives



...create a “livable” regional center with first-class office, retail and high-end restaurants in a pedestrian- and bicycle-oriented environment that serves as a regional example of high-quality design standards.



# Project objectives



- Office-Institution (O-I)
- Office-Distribution (O-D)
- Office-Commercial-Residential (OCR)
- Neighborhood Shopping (NS)
- Local Commercial (C-I)
- Commercial-Residential Mixed-Use (CR-I)
- Multi-dwelling Residential (RM-HD)
- Single-dwelling Residential-50 (R-50)
- Single-dwelling Residential-100 (R-100)
- Single-dwelling Residential-150 (R-150)

# Existing zoning

## Uses

- a. To provide areas for the establishment of businesses engaged in the manufacturing, processing, creating, repairing, renovating, painting, cleaning, or assembling of goods, merchandise, or equipment;
- b. To help ensure that establishments operate so as to not create adverse noise and other impacts on nearby residential, office, commercial and mixed-use districts; and
- c. To help ensure that M districts are located in areas with access to major arterials and freeways.

### 27-5.20 Uses Allowed

The following table identifies uses allowed in nonresidential and mixed-use zoning districts. See [27-8.10](#) for information about how to interpret the use table.

USES	DISTRICTS										Supplemental Regulations
	O-I	O-I-T	O-D	OCR	NS	C-1	CR-1	C-2	M		
<b>RESIDENTIAL</b>											
<b>Household Living</b>											
Detached house	-	P	-	-	-	-	-	-	-	-	27-9.170
Multi-unit building	-	-	-	S	-	-	-	-	-	-	
Mixed-use building, vertical	-	-	-	P	-	-	-	-	-	-	27-9.180
<b>Group Living</b>											
Convent and monastery	P	P	-	-	-	-	-	-	-	-	
Fraternity house, sorority house or residence hall	P	P	-	-	-	-	-	-	-	-	
Nursing home	-	-	P	-	-	-	-	-	-	P	
Personal care home, registered (1-3 persons)	P	P	P	-	-	-	-	-	-	-	
Personal care home, family (4-6 persons)	P	P	P	-	-	-	-	-	-	-	27-9.190
Personal care home, group (7-15 persons)	P	S	P	-	-	-	-	-	-	-	27-9.190
Personal care home, congregate (16 or more)	S	S	-	-	-	-	-	-	-	-	
Shelter, homeless	S	S	-	-	-	-	-	-	-	-	
Transitional housing facility	-	-	-	-	-	P	P	P	P	P	
<b>QUASI-PUBLIC &amp; INSTITUTIONAL</b>											
Ambulance Service	P	P	P	-	-	-	-	-	-	-	
Club or Lodge, Private	P	P	P	-	-	-	-	-	-	-	
<b>Cultural Exhibit</b>											
Day Care											
Day care facility, adult (6 or fewer persons)	-	-	P	-	-	-	-	-	-	-	
Day care center, adult (7 or more)	-	-	P	-	-	-	-	-	-	-	
Day care facility, child (6 or fewer persons)	P	P	P	-	-	-	-	-	-	-	
Day care center, child (7 or more)	P	P	P	-	-	-	-	-	-	-	
<b>Educational Services</b>											
College or university	P	P	P	-	-	-	-	-	-	-	
Kindergarten	P	P	P	-	-	-	-	-	-	-	
Research and training facility, college or university affiliated	P	P	P	-	-	-	-	-	-	-	
School, private elementary, middle or senior high	P	P	P	-	-	-	-	-	-	-	
School, specialized non-degree	P	-	-	-	-	-	-	-	-	-	
School, vocational or trade	P	P	P	P	P	P	P	P	P	P	
<b>Hospital</b>											
Place of Worship	P	P	P	-	-	-	-	-	-	-	

## Lot and Intensity Standards

### 27-5.30 Lot and Building Regulations

This section establishes basic lot and building regulations that apply in nonresidential and mixed-use zoning districts. These regulations offer certainty for property owners, developers and neighbors about the limits of what is allowed; they are not to be construed as a guarantee that stated minimums and maximums can be achieved on every lot. Other factors, such as topography, the presence of protected resources, off-street parking and other factors may work to further limit actual building and development potential.

The lot and building standards of the following table apply to all principal and accessory uses allowed in nonresidential and mixed-use districts, unless otherwise expressly stated in this zoning ordinance. [Article 30](#) identifies exceptions to these regulations and rules for measuring compliance (see also Figure 5-1).

Regulation	O-I	O-I-T	O-D	OCR	NS	C-1	CR-1	C-2	M
<b>L1</b> Minimum Lot Area (sq. ft.)	20,000	20,000[1]	43,560	87,120	20,000	20,000	20,000	30,000	30,000
<b>L2</b> Minimum Lot Frontage (ft.)	100	100	150	100	100	100	100	100	100
<b>S1</b> Maximum Density (dwelling units per acre)	NA	NA	NA	100	20,000	20,000	20,000	20,000	20,000
<b>S2</b> Minimum Building/Structure Setbacks (ft.)									
Street, Front and Side									
Side, Interior									
<b>S3</b> Rear									
<b>C</b> Maximum Lot Coverage (%)	50	40	75	50	50	50	0	50	75
Maximum Building Height (stories/ft.)	20	20	20	20	20	20	20	20	20
Maximum Building Floor Area (sq. ft.)	30	30	30	40	30	30	30	30	30
	5/70[3]	80	80	2/35[4]	80	80	80	80	80
	NA	2/35	2/35[4]	2/35[4]	2/25	2/35[4]	3/45[4]	2/35[4]	5/70[3]
		NA	NA	NA	50,000[5]	NA	NA	NA	NA



Existing zoning



# 4.0 Building Types

## 4.3 Storefront Building

### 1. Description & Intent

The Storefront Building is intended for use as a mixed use building located close to the front property line with parking typically in the rear or side of the lot.

The key facade element of this Building Type is the storefront required on the ground floor front facade, with large amounts of glass and regularly spaced entrances.

This building is available in a variety of intensities, depending on the district within which it is located. For example, minimum and maximum heights are highest in the Core A District and lowest in the Core D District.

### 2. Regulations

Regulations for the Storefront Building Type are defined in the adjacent table.

### (1) Building Siting

	Permitted Districts			
	Core A	Core B	Core C	Core D
Multiple Principal Buildings	not permitted	not permitted	permitted	not permitted
a Front Property Line Coverage	95%	90%	85%*	85%*
Occupation of Corner	required	required	required	required
b Front Build-to-Zone	0' to 5'	0' to 20'	0' to 15'	0' to 5'
c Corner Build-to-Zone	0' to 5'	0' to 5'	0' to 20'	0' to 5'
d Minimum Side Yard Setback	0'	0'	5'	0'
e Minimum Rear Yard Setback	5'	5'	5'	5'
f Minimum Lot Width	none	none	none	none
Maximum Lot Width	none	none	none	none
Maximum Impervious Coverage	90%	75%	70%	80%
Additional Semi-Pervious Coverage	10%	25%	20%	20%
g Parking & Loading Location	rear yard	rear yard	rear & side yard*	rear & side yard*
h Vehicular Access	Alley only; if no alley exists, 1 driveway is permitted per non-primary street.	Alley; if no alley exists, 1 driveway is permitted per non-primary street.	Alley; if no alley exists, 2 driveways are permitted off non-primary streets.	Alley; if no alley exists, 1 driveway is permitted per non-primary street.*

### (2) Height

i Minimum Overall Height	3 story	2 story	1 story	1 story
j Maximum Overall Height	30 stories	12 stories*	5 stories*	8 stories*
k Ground Story: Minimum Height	14'	14'	14'	14'
Maximum Height	30'	24'	24'	18'
l Upper Stories: Minimum Height	9'	9'	9'	9'
Maximum Height	14'	14'	14'	14'

### (3) Uses

m Ground Story	retail, service	retail, service	retail, service, office	retail, service, office
n Upper Story	any permitted use			
o Parking within Building	permitted fully in any basement and in rear of upper floors			
p Required Occupied Space	30' deep on all full floors from the front facade			

### (4) Street Facade Requirements

q Minimum Ground Story Transparency	75%	75%	65% front only	65%
r Minimum Transparency	15%	12%	15%	12%
Blank Wall Limitations	required per floor (refer to 4.2.8)			
s Front Facade Entrance Type	storefront, arcade	storefront, arcade	storefront, arcade	storefront, arcade
t Principal Entrance Location	front facade	front facade	front or corner facade	front facade
Required Number of Street Entrances	1 per each 75' of front facade	1 per each 75' of front facade	1 per each 200' of front facade	1 per each 75' of front facade
Vertical Facade Divisions	every 30' of facade width	every 25' of facade width	every 50' of facade width	every 25' of facade width
Horizontal Facade Divisions	required within 3' of the top of the ground story and every 8th floor above the first floor			

### (5) Roof Type Requirements

v Permitted Roof Types	parapet, pitched, flat, permitted			
Tower	permitted	permitted	permitted	permitted

DRAFT MARCH 2015

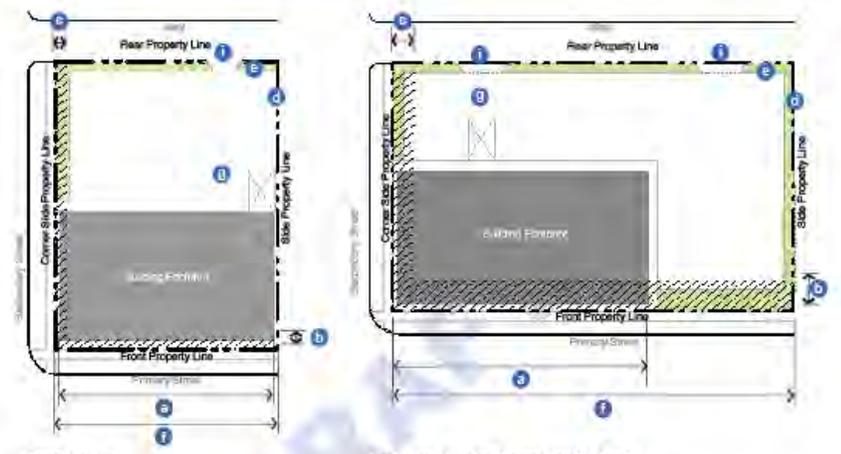


Figure 4.3 (1). Storefront Building: Building Siting.

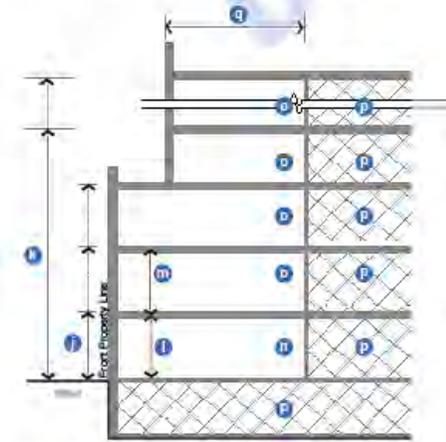


Figure 4.3 (2). Storefront Building: Height & Use Requirements.

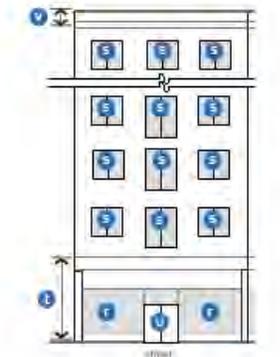


Figure 4.3 (3). Storefront Building: Street Facade Requirements.

## 4.0 Building Types

# Key elements

## 2.0 Street Types

### 2.6 Neighborhood Street.

#### 1. Intent.

The Neighborhood Street is a low capacity street designed for slow speeds with a standard right-of-way. It primarily serves those residences or businesses directly adjacent to it. Refer to the typical plan and section, Figure 2.6 (1).

#### 2. General Requirements.

The Neighborhood Street shall be developed using the standards in Table 2.6 (1).

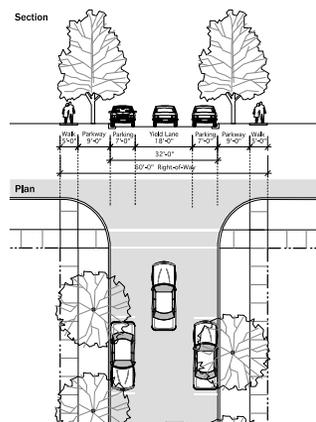


Figure 2.6 (1). Typical Neighborhood Street.

### Neighborhood Street Requirements

Permitted Districts	General C General D Edge A Edge B Edge C
Permitted Adjacent Building Types	General Stoop Row Building Yard Building Civic Building
Typical Right-of-Way Width	60'
<b>Vehicular Realm</b>	
Travel Lanes	1 yield lane
Lane Width	16 to 18'
Allowable Turn Lanes	Not applicable
Parking Lanes <sup>1</sup>	Parallel required on one side of street
Pavement Width	32', 20' for alternative
Median	Permitted
Bicycle Facilities <sup>2</sup>	Shared
<b>Pedestrian Realm</b>	
Pedestrian Facilities	Minimum 5 feet wide clear sidewalk on both sides
Street Buffer	Minimum 9 feet wide Landscape Zone

<sup>1</sup> Reference 2.2,5 for on-street parking requirements  
<sup>2</sup> Reference 2.2,6 for bicycle facility types and requirements

Table 2.6 (1). Neighborhood Street Requirements.

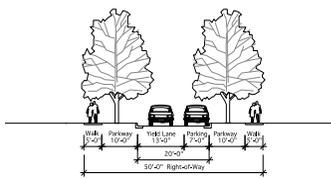


Figure 2.6 (2) Alternative 60' Right-of-Way Neighborhood Street.

## 6.0 Open Space Types



Figure 6.3 (1). Typical Commons Layout.



Figure 6.4 (1). Typical Green Layout.

### 6.3 Commons.

#### 1. Intent.

To provide an informal, small to medium scale space for active or passive recreation for a limited neighborhood area. Commons are typically informal in a loose and tend to serve adjacent residents.

### 6.4 Green.

#### 1. Intent.

To provide informal, medium scale active or passive recreation for neighborhood residents within walking distance, mainly located by streets.

### 3. Contextual Requirements

<b>(1) Dimensions</b>	
Minimum Size (acres)	0.25
Maximum Size (acres)	1.5 <sup>1</sup>
Minimum Dimension (feet)	40'
Minimum % of Vehicular ROW Footage Permitted	0%. 2 access points required, minimum width each of 20'
<b>(2) Adjacent Parcels</b>	
Permitted Districts	General D General B General C General E
Footage Orientation of Adjacent Parcels	Side or Front
<b>(3) Imperviousness</b>	
Designated Open Space Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum Impervious + Semi-Permeable Surface	50% + 10%
Maximum % of Open Water	50%

<sup>1</sup> See Section 6.0. Commons shall have a minimum of two access points from a adjacent right-of-way. Each access point shall have a minimum width of 20 feet.

### 3. Context Requirements

<b>(1) Dimensions</b>	
Minimum Size (acres)	0.50
Minimum Size (acres)	2
Minimum Dimension (feet)	60'
Minimum % of Vehicular ROW Footage Permitted	100%. 50% for over-Required
<b>(2) Adjacent Parcels</b>	
Permitted Districts	All
Footage Orientation of Adjacent Parcels	Front or Corner Side
<b>(3) Imperviousness</b>	
Designated Open Space Fields Permitted	Not permitted
Playground Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum Impervious + Semi-Permeable Surface	50% + 10%
Maximum % of Open Water	50%

Key elements

**a core**  
city center – mixed use, shopping, and entertainment



**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



1



2

**b general**  
employment – office & higher-density residential



**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



1



2

**c edge**  
neighborhood – intermediate residential & smaller-scale office



**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



1



2

**d streetscape**  
pedestrian environment



**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how the streetscape throughout the area should be built as new development occurs.



1



2



3



4



3



4



3



4



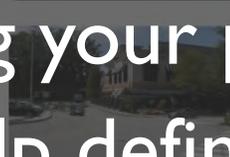
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4



5



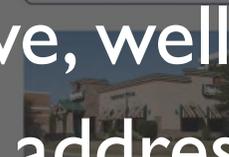
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5



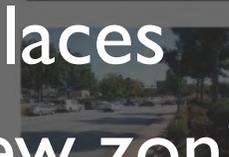
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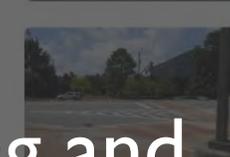
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6



7



8



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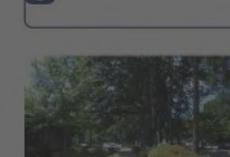
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8



7



8

Perimeter Center Zoning



Perimeter Center Zoning



Perimeter Center Zoning



Perimeter Center Zoning



- Gauging your perception of attractive, well-designed places
- Will help define key elements to be addressed with new zoning and design tools—measurable, predictable metrics

# Image preferences

**a** core  
city center - mixed use, shopping, and entertainment

**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



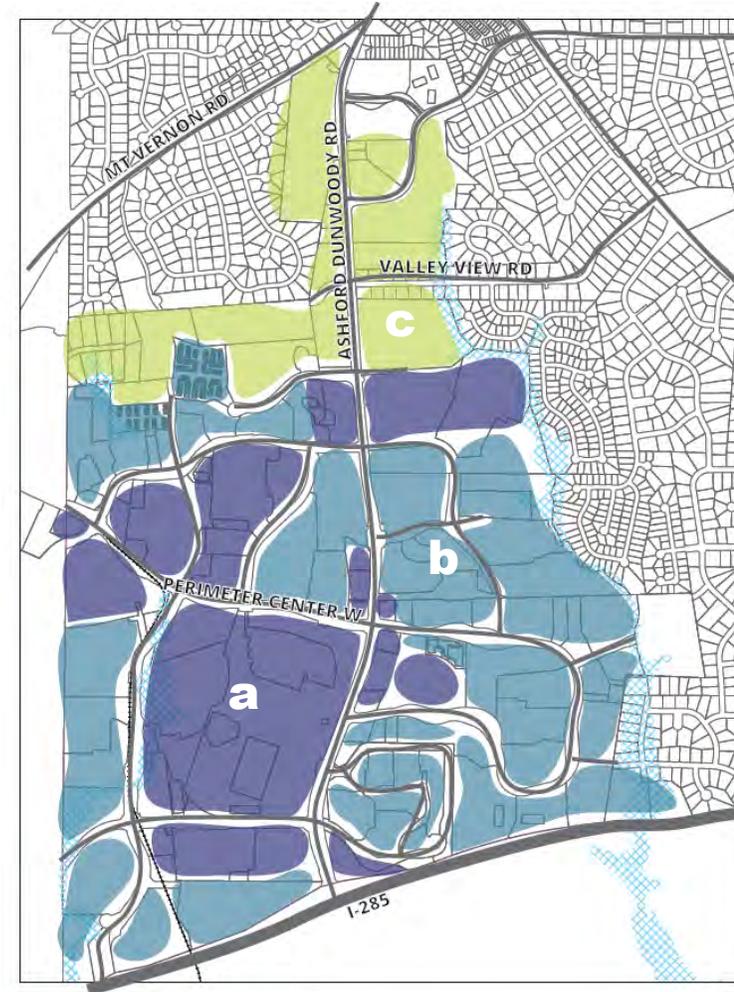
**b** general  
employment - office & higher-density residential

**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



**c** edge  
neighborhood - lower-density residential & small-scale office

**DIRECTIONS:**  
Place a sticker in the box under the 3 images that you think provide the best examples for how future development in this area should be built.



# Image preferences

- Building heights
- Setbacks and open spaces
- Parking location and design
- Building location on lot
- Building design
- Other building/site design elements
- Streetscape features (furnishings, motorized and nonmotorized transportation facilities...)

But mostly  
your gut  
reaction

Image preferences