

27-98 Perimeter Center Overlay

SECTIONS

- (a) Overlay Generally
- (b) Street Types
- (c) Streets & Blocks
- (d) Transitional Buffers
- (e) General Building Design Requirements
- (f) Sustainability Measures

27-98 Perimeter Center Overlay

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Overlay Generally

(a) Overlay Generally

(1) Intent.

The regulations of the Perimeter Center Overlay are intended to recognize and foster the transformation of Perimeter Center into a pedestrian-friendly, livable center that ensures long term economic, social, and environmental sustainability.

(2) Purpose.

The Perimeter Center Overlay has been created to further the following public purposes.

- a. **Plan Compatibility.** To guide new development and redevelopment as defined by the **City of Dunwoody Comprehensive Plan** (adopted 2010) and as amended.
- b. **Perimeter Community Improvement Districts (PCIDs).** To provide implementation guidance for the general vision defined in **Perimeter @ The Center - Future Focus, 2011 - A Ten Year LCI Update**, dated November 2011, and as amended (past, current, and future).

(3) Applicability.

The regulations within this section, 27-98 Perimeter Center Overlay, apply to all buildings, structures, land and uses within the Perimeter Center Overlay, as illustrated on the City's zoning map and in Figure 27-98-1 Perimeter Center Overlay Map.

(4) Existing Land Development Regulations.

Refer to chapter 16 Land Development Regulations for additional requirements. When there is a conflict between the following regulations and chapter 16, the **Perimeter Center Overlay** regulations govern.

(5) Review and Approval Procedures.

Unless otherwise expressly stated, all uses and development in Perimeter Center Overlay are subject to the applicable review and approval procedures of article V, **as well as any applicable procedures in chapter 16 of the municipal code (land development regulations).**

(6) Site Plan Review.

All applications for development permits within the Perimeter Center Overlay must be accompanied by a site plan, which is subject to review and approval in accordance with article V, division 10.

(7) Relief.

In some instances, unique site conditions, existing building circumstances or other constraints related to the subject property may make strict compliance with the Perimeter Center Overlay regulations impossible or highly impractical. In such instances, an applicant

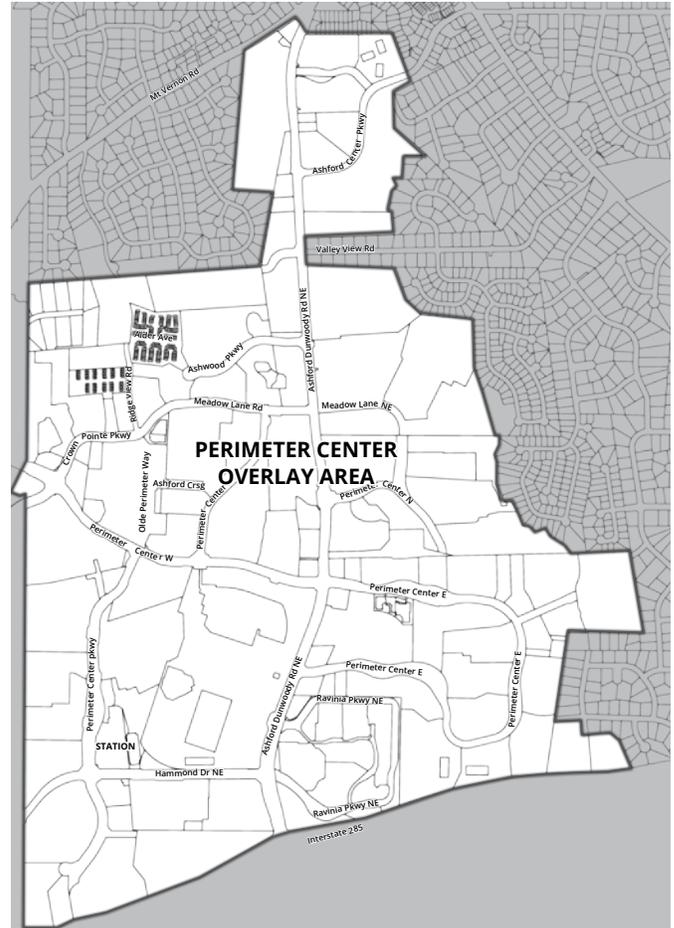


Figure 27-98-1 Perimeter Center Overlay Map

may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.

- a. Minor Exception—Administrative Relief.** The community development director is authorized to approve the following minor exceptions to strict compliance in accordance with the administrative permit procedures of article V, division 7:
1. A reduction in required frontage depth by no more than 10 percent;
 2. A reduction in required street buffer depth by no more than ~~one~~ two feet;
 3. A reduction in required width of a required sidewalk, shared-use path, or trail by no more than two feet;
 4. A reduction in required landscape or yard depth by no more than one foot;
 5. Establishment of a public access easement in lieu of right-of-way dedication for frontages.
 6. Retaining walls in street type frontages up to 5 feet in height when extreme grades prevent the use of shorter walls and landscaping is used to mitigate the visual impacts of the taller retaining wall at the sidewalk edge; and
 7. Any other minor exception expressly authorized under the Perimeter Center Overlay regulations.

b. Major Exceptions—Special Land Use Permit.

Major exceptions to strict compliance with the Perimeter Center Overlay regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-98(a)(4)

a. Major exceptions require review and approval in accordance with the special land use permit procedures of article V, division 3.

(b) Street Types

(1) Intent.

Street Types are established for all of the existing and new streets in the Perimeter Center Overlay area. Frontage options are defined for the space between the building or parking and the curb per street type. Street Types and Frontage Options are intended to address the comfort, convenience, and safety of pedestrians and bicyclists; to develop a network of streets with identifiable character; and to provide an aesthetically pleasing edge to all development.

(2) Applicability.

All new development and redevelopment within the Perimeter Center Overlay shall meet the following:

- a. New Street.** New streets shall meet the applicable Street Type requirements.
- b. Frontage Requirements.** Street Type frontage requirements are required on all developments requiring a land disturbance permit under any one of the following circumstances:
1. **Redevelopment or Renovation.** When an alteration to an existing structure includes an addition of more than 50 percent in gross building square footage.
 2. **New Structure.** Development of a new structure on a ~~previously undeveloped~~ lot or a portion of a lot. ~~or development of a new structure on a lot that increases the total gross building square footage of the lot~~
 3. **Parking Lots.** Redevelopment or revision to 50 percent or more of an existing parking lots or development of a new parking lot consisting of 15 or more spaces
 4. **Signs.** Development or redevelopment of any nground signs, 20 square feet or more in size

Street Types

(3) Street Types Map.

Figure 27-98-2 Street Types Map defines street types in Perimeter Center for existing and new streets. Refer to 27-98.C Streets & Blocks for more information about new streets and their designated locations.

a. Street Types. The following Street Types are established for the existing streets and any new streets adjacent to and within the Perimeter Center Overlay. Refer to Figure 27-98-2 Street Types Map for the typologies of existing streets and proposed new streets.

1. **Major Parkway Street.** The Major Parkway Street Type is intended to create a parkway effect along the major transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with trees typical of the area. Major Parkways require designated bicycle facilities. Refer to 27-98.B.5 for requirements.
2. **Minor Parkway Street.** The Minor Parkway Street Type is intended to create a parkway effect along large transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with trees. Minor Parkways require designated bicycle facilities. Refer to 27-98.B.6 for requirements.
3. **Primary Street.** The Primary Street Type is intended to establish a series of comfortably scaled streets with continuous building frontage and a limited number of drives interrupting the sidewalk. Primary Streets require designated bicycle facilities. Refer to 27-98.B.7 for requirements.
4. **Secondary Street.** The Secondary Street Type is meant to establish a designated street for parking lot and structure access, while still providing a safe and comfortable pedestrian realm. Secondary Streets require shared bicycle facilities. Refer to 27-98.B.8 for requirements.

b. Street Type Graphics. The graphics provided in this section illustrate the preferred configuration of each Street Type. By applying the standards defined, other configurations are permitted.

c. Redesignating Street Types. Existing street designations are set to match the existing character to the extent possible. New streets have been designated with the intent to provide an appropriate mix of Primary and Secondary Streets, establishing comfortable pedestrian streets while providing for parking access.

Re-designation of existing streets may occur per the following:

1. **Process.** Parkways shall not be re-designated, except by a Text Amendment to this code. All other streets may be redesignated using the minor exception process.
 2. **Entire Blocks.** When redesignating street types, the entire street between intersecting streets shall be redesignated.
 3. **Primary Streets.** The intent is to maintain a similar amount of Primary Streets as established by the map. Primary Streets may be re-designated as Parkways or Secondary Streets only when a new or existing street, currently designated as Secondary, within or abutting the same parcel is redesignated as a Primary Street.
 4. **Secondary Streets.** Existing Secondary Streets may be re-designated as Parkways or Primary Streets as long as vehicular access to parking for all surrounding sites has been addressed.
- d. Shared-Use Paths.** Trail locations ~~beyond those required by the Parkway~~ are required per the Street Types Map, Figure 27-98-2 and the Department of Public Works Director. Refer to the City's current comprehensive plan or other City-approved cycle/pedestrian plan and coordinate with Public Works Director for locations for other trails.
1. **Additional Easement.** Additional easement or right-of-way space may be required when trails do not follow a street or are along Primary or Secondary Streets.
 2. **Trail Width.** Trails in locations other than within Street Type frontages shall be a minimum of 12 feet in width with a minimum of 10 feet of landscape on both sides.
 3. **Trail Materials.** Trails shall be constructed primarily of concrete. Brick pavers are acceptable as accent material.
 4. **Trees.** One canopy tree is required per every 2,000 square feet of trail area.
 5. **Ground Plane Vegetation.** Trail easements are to be landscaped with a combination of planting beds that may include shrubs, ornamental grasses, ground cover, vines, or perennials; and seeded, plugged, or sodded grass. Nonliving materials, such as pine straw or mulch are permitted for up to 50 percent of the buffer. Additional mulch area may be

Street Types

approved by the Community Development Director when significant tree cover exists.

6. **Existing Vegetation.** The Community Development Director may credit buffer and screen landscape when existing vegetation meets the same requirements.

(4) Streetscape Furnishings & Hardscape Design

In addition to the Street Type frontage requirements that include minimum tree plantings and walk/trailways, a street furnishings and hardscape design is required along all new and existing street frontages per the following.

- a. **Definition.** The streetscape furnishings and hardscape design shall include the frontage area as defined by the Street Types plus any hardscaped building setback area less than 25 feet deep from the frontage edge.
- b. **Design Submittal.** A consistent design shall be submitted for approval with Site Plan Review for all streets within and adjacent to the development.
- c. **Standard Specifications.** The design shall meet any standards defined by the City for sidewalk, curb, access, lighting, landscape, and other applicable construction details. Refer to Chapter 16, Land Development Regulations.
- d. **Perimeter Community Improvements Districts (PCID) Public Space Standards.** Refer to the current PCID public space standards document for recommended streetscape component specifications.
- e. **Submittal Requirements.** At a minimum, the design submittal shall include the following:
 1. **Trees.** Trees meeting the minimum requirements of 27-98.B Frontage Types shall be included in the design, with details related to tree pits, tree grates, and tree planting to meet the landscape installation requirements of 36-364 Landscape.
 2. **Pavement Design.** Paving materials and pattern is required for each sidewalk and any other hardscape proposed. Pavement design shall address all walks or trails, including the minimum sidewalk or trail widths required by the frontage.
 3. **Street Furnishings.** Benches and/or seatwalls, planters, planter fences, tree grates, and trash receptacles shall be specified and quantities and locations listed for each street. For each block face, a minimum of two benches and one trash receptacle is required.

4. **Bus Stop Facilities.** Coordinate with Public Works Director for the location of bus stops and the required facilities. Facilities may include benches, pavement, shelters, signs, and other improvements.
5. **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and open tree wells, including shrubs, perennials, annuals, and grasses.
6. **Lighting.** Pedestrian and vehicular lighting shall be specified with locations and quantities noted. All lighting shall meet any requirements of Public Works Director and Public Works Director. Cut sheets and samples shall be submitted upon request of the Community Development Director.
7. **Stormwater Facilities.** Any stormwater facilities proposed for the right-of-way shall be included in the streetscape design. Facilities such as stormwater planters or parkway swales may be included. Maintenance responsibilities and processes shall be included.
8. **Identity Elements.** Any other elements designed to establish the identity of each street, such as banners mounted on light poles, pavement markers, artwork, or wayfinding signage, shall be included in the design submittal.
9. **Streetscape Design Continuation.** The approved streetscape design for each street may be utilized by the City for the extension of any street outside the development to provide continuity.

(5) Major Parkway Street Type

The Major Parkway Street Type applies to existing streets per the [Street Types Map, Figure 27-98-2](#). Refer to [Figure 27-98-4 Existing Major Parkway Street Section](#).

- a. New Major Parkway Streets.** New Major Parkway streets are not permitted, unless otherwise required by Public Works Director . This street type is applicable only to existing streets per the [Street Types Map, Figure 27-98-2](#).
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Major Parkway as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Major Parkway Street Frontage Options along the entire length of the lot line abutting the Major Parkway.

Refer to [Figure 27-98-5. Table of Major Parkway Frontage Options](#).

- c. Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate context-sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-3: TABLE OF MAJOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Varies; shall be wide enough to include curb to curb as well as frontage options.
Travel Lanes	4 to 8 lanes, 2 way
Lane Width	10' to 12' per Public Works Director
Allowable Turn Lanes	Per Public Works Director
Parking Lanes	Permitted only with Public Works Director approval; then parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-5: Table of Frontage Options for pedestrian, bicycle, and street buffer requirements.



Figure 27-98-4 Existing Major Parkway Street Section

FIGURE 27-98-5: TABLE OF MAJOR PARKWAY FRONTAGE OPTIONS REQUIREMENTS			
	PARKING EDGE refer to Figure 27-98-6	ACTIVE EDGE refer to Figure 27-98-7	BUILDING EDGE refer to Figure 27-98-8
1	Minimum Depth of Frontage The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2	Street Buffer Minimum Depth: Street buffer depth shall may be varied, at a minimum of 8 feet with an average depth of 12 feet. Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway with the goal of shading a minimum of 60 percent of the parkway sidewalk at maturity in 20 years. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 7 canopy trees per every 100 feet of buffer. Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.		
3	Sidewalk A minimum 8 foot wide sidewalk is required and may meander between trees. Refer to 27-98.B.3.c(iii) for materials.		
4	Bicycle Facilities A separated, dedicated bicycle facility is required per Public Works Director : an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5	Yard Treatment Minimum Depth: minimum 6 foot deep landscape or patio area is required. Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.		
6	Building & Parking Location Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

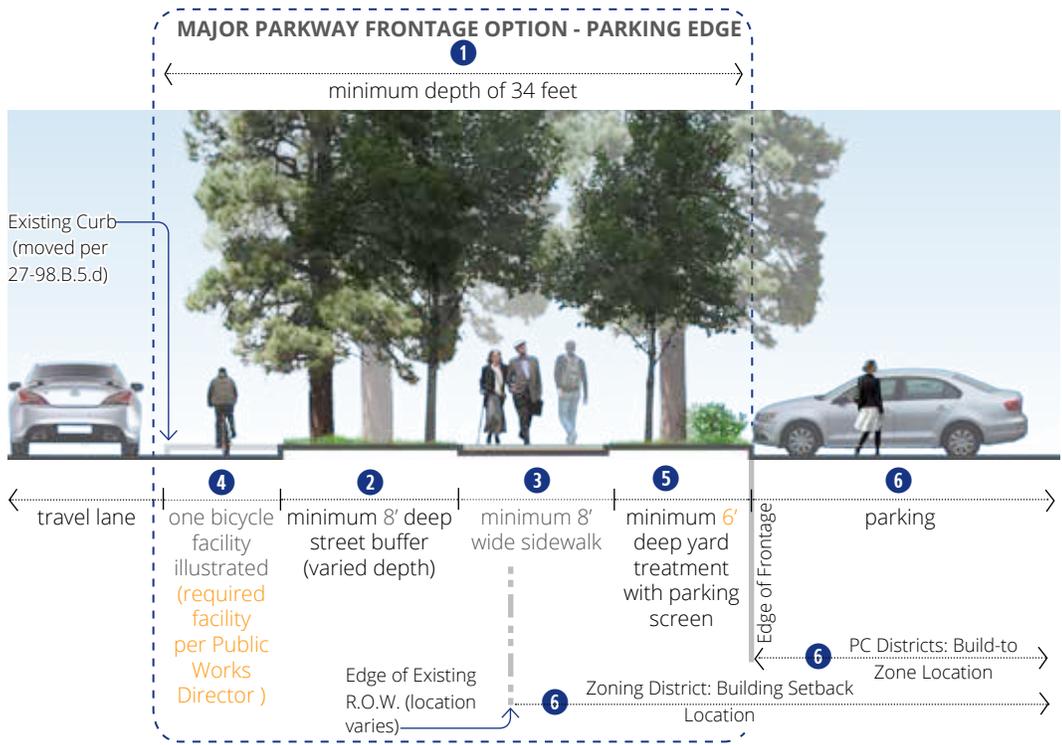


Figure 27-98-6 Major Parkway Frontage Option - Parking Edge

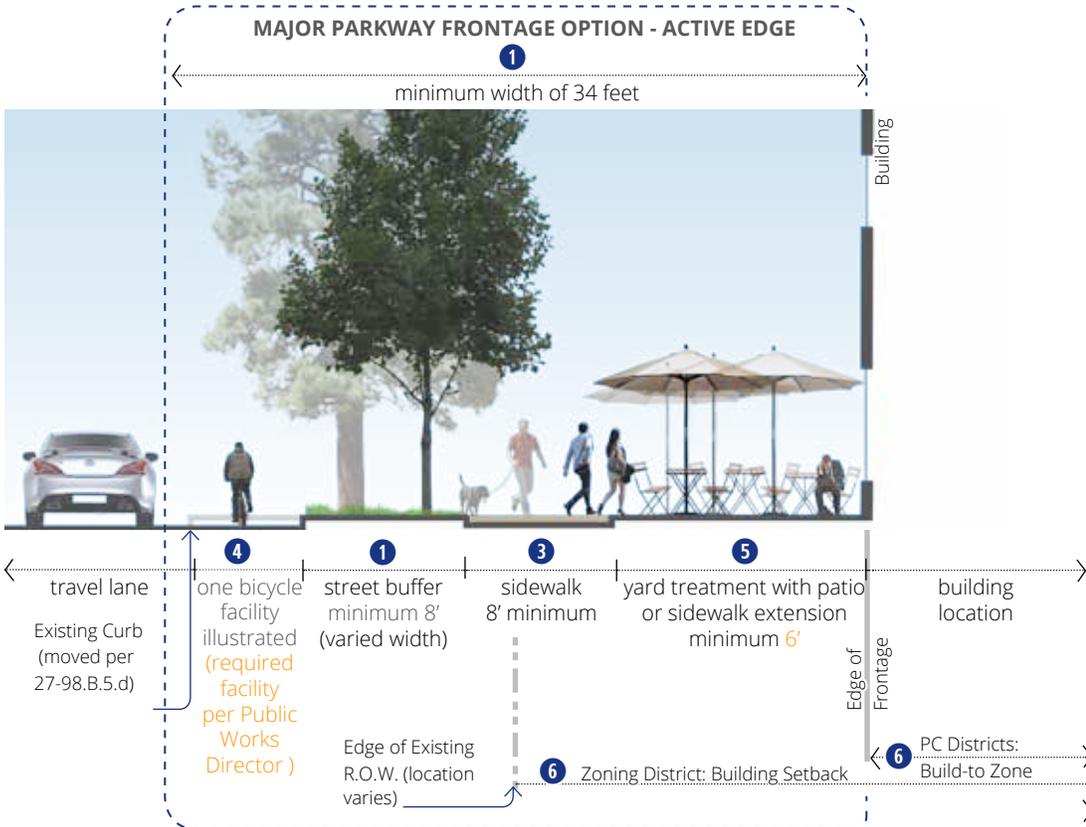


Figure 27-98-7 Major Parkway Frontage Option - Active Edge

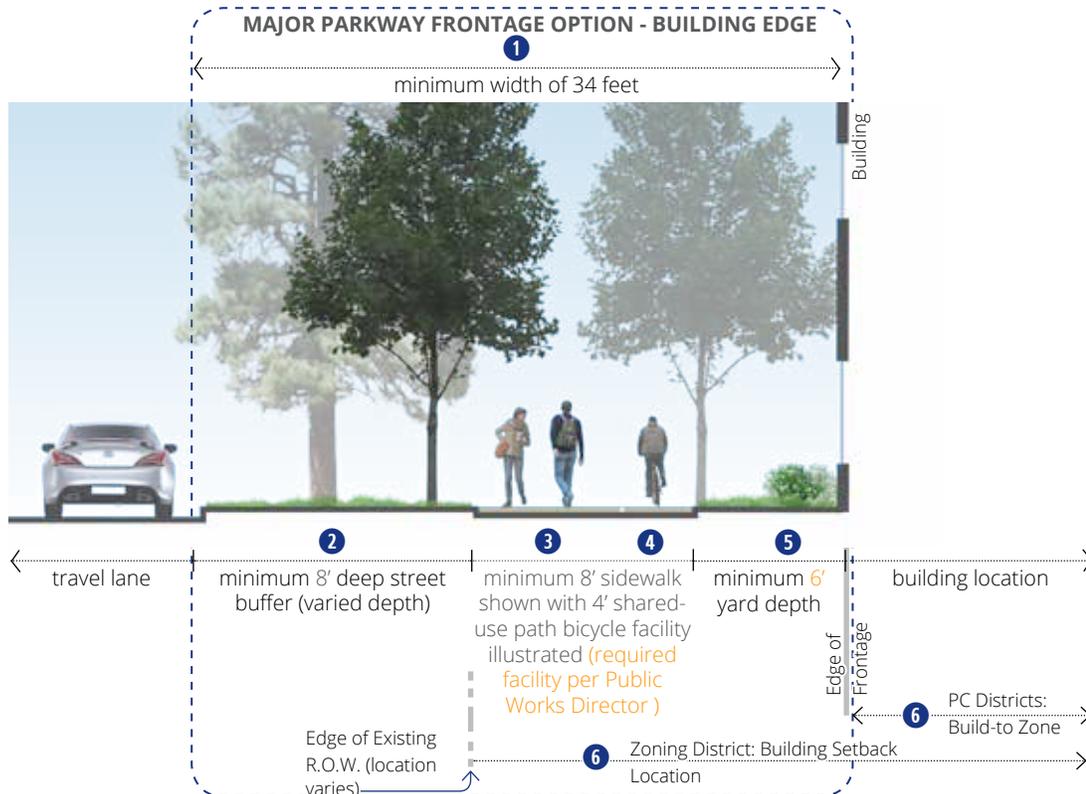


Figure 27-98-8 Major Parkway Frontage Option - Building Edge

Street Types

(6) Minor Parkway Street Type

The Minor Parkway Street Type applies to existing streets per the [Street Types Map, Figure 27-98-2](#) and is available for new streets per Public Works Director . Refer to [Figure 27-98-10 Minor Parkway Street Section - Existing and New](#).

- a. New Minor Parkway Streets.** New Minor Parkway streets are not permitted, unless a minor exception is approved by Public Works Director .
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Minor Parkway as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Minor Parkway Street Frontage Options along the entire length of the lot line abutting the Minor Parkway.

Refer to [Figure 27-98-11 Table of Minor Parkway Frontage Options](#).

- c. Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-9: TABLE OF MINOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Existing varies; 100' to 120' per Public Works Director
Travel Lanes	2 to 4 lanes, 2 way
Lane Width	10' to 12' per Public Works Director
Allowable Turn Lanes	Per Public Works Director
Parking Lanes	Permitted only with Public Works Director approval; Parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-11: Table of Frontage Options for pedestrian, bicycle, and street buffer requirements.



Figure 27-98-10. Minor Parkway Street Section - Existing and New

FIGURE 27-98-11: TABLE OF MINOR PARKWAY FRONTAGE OPTIONS

	PARKING EDGE refer to Figure 27-98-12	ACTIVE EDGE refer to Figure 27-98-13	BUILDING EDGE refer to Figure 27-98-14
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2 Street Buffer	<p>Minimum Depth: Street buffer depth shall may be varied, at a minimum of 6 feet wide with average of 10 feet.</p> <p>Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway, with the goal of shading a minimum of 60 percent of the parkway sidewalk at maturity in 20 years. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 7 canopy trees per every 100 feet of buffer.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.</p>		
3 Sidewalk	A minimum 6 foot wide sidewalk is required and may meander between trees. Refer to 27-98.B.3.c(iii) for materials.		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per Public Works Director : an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5 Yard Treatment	Minimum Depth: minimum 6 foot deep landscape or patio area is required.		
	Parking Screen is required. Refer to Figure 27-98-35 Landscape Screen Requirements.	Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.	no additional requirements
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

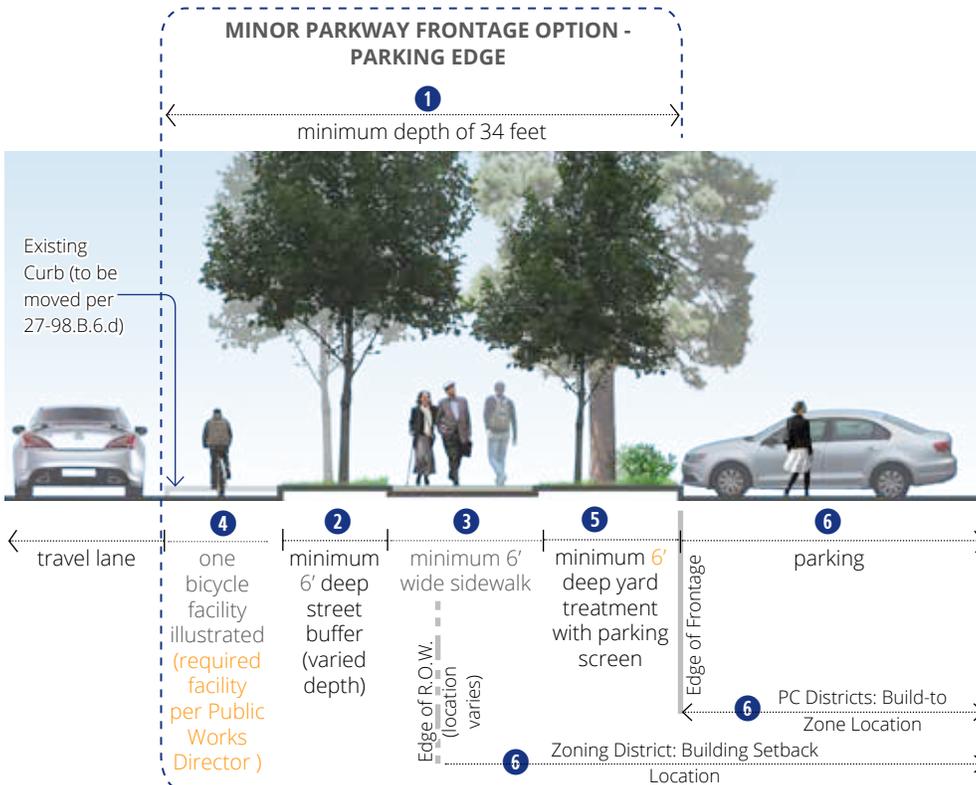


Figure 27-98-12 Minor Parkway Frontage Option - Parking Edge

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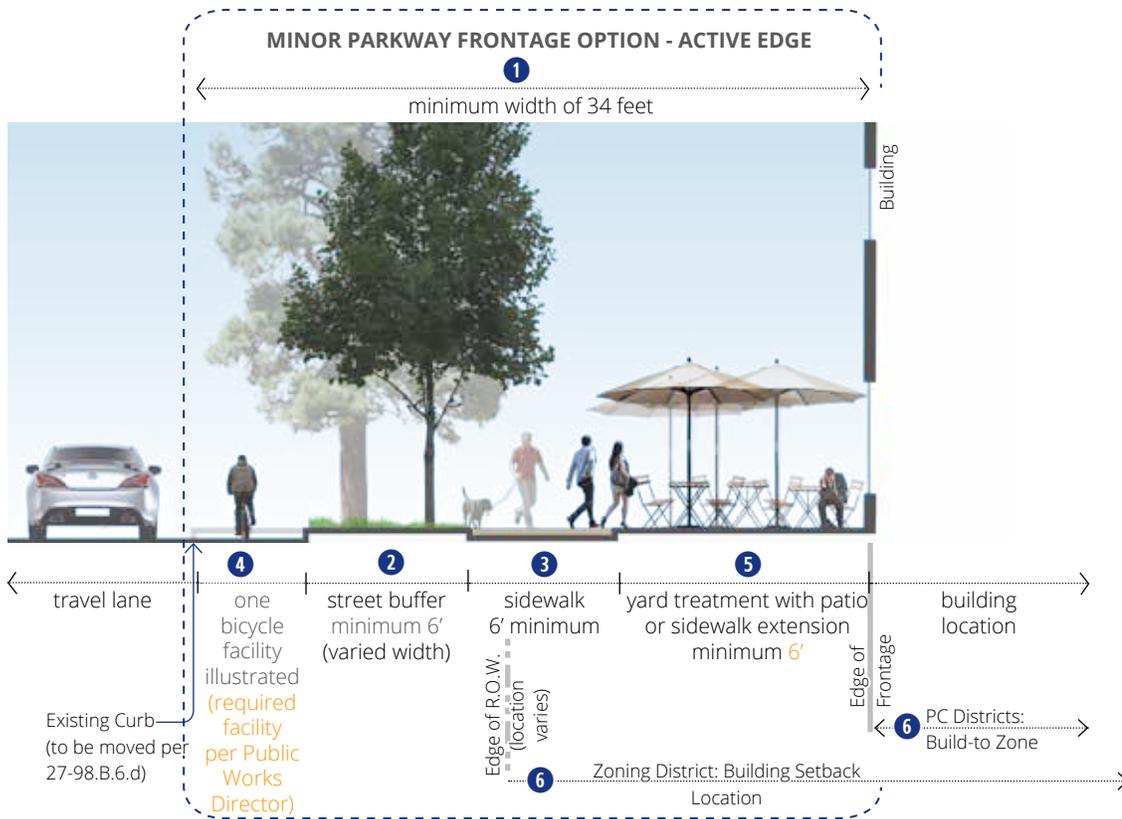


Figure 27-98-13 Minor Parkway Frontage Option - Active Edge

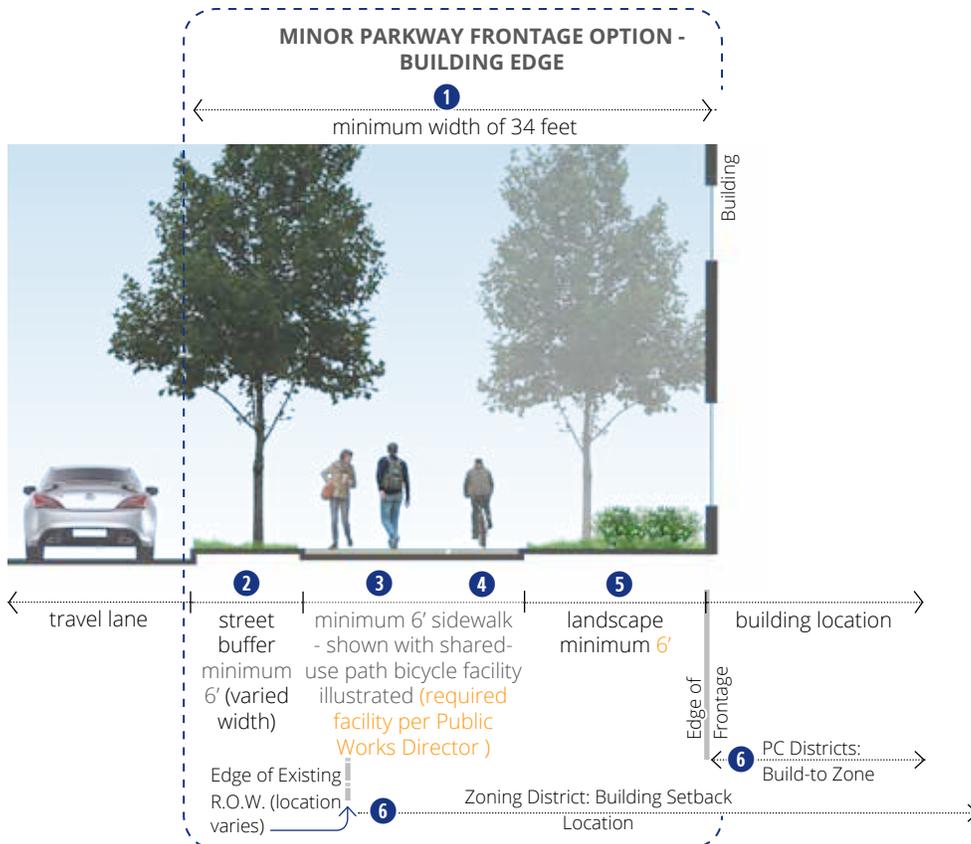


Figure 27-98-14 Minor Parkway Frontage Option - Building Edge

(7) Primary Street Type

The Primary Street Type applies to new and existing streets per the [Street Types Map, Figure 27-98-2](#).

- a. New Primary Streets.** Refer to [Figure 27-98-15](#) for Primary Street Type Requirements for new streets, [Figure 27-98-16 Primary Street Section: Typical](#) illustrates the typical street section. A narrow version is available for limited application (refer to [Figure 27-98-17 Primary Street Section: Narrow](#)).
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Primary Street as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Primary

Street Frontage Options along the entire length of the lot line abutting the Minor Parkway. Refer to [Figure 27-98-18 Table of Minor Parkway Frontage Options](#).

- c. Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication ~~is required~~ so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-15: TABLE OF PRIMARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-16	LIMITED NARROW refer to Figure 27-98-17
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of Public Works Director /Community Development Director
Right-of-Way Width	66' to 100' per Public Works Director	60' to 75' per Public Works Director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per Public Works Director	16' to 18' per Public Works Director
Allowable Turn Lanes	Right turn lane	Not applicable
Parking Lanes	Parallel or diagonal; minimum 8' wide	Parallel required on one side of street
Pavement Width	34' to 40' (see variations for alternatives)	32'
Frontage Options	Refer to Figure 27-98-17: Primary Street Frontage Options	Yard Edge Frontage Option only

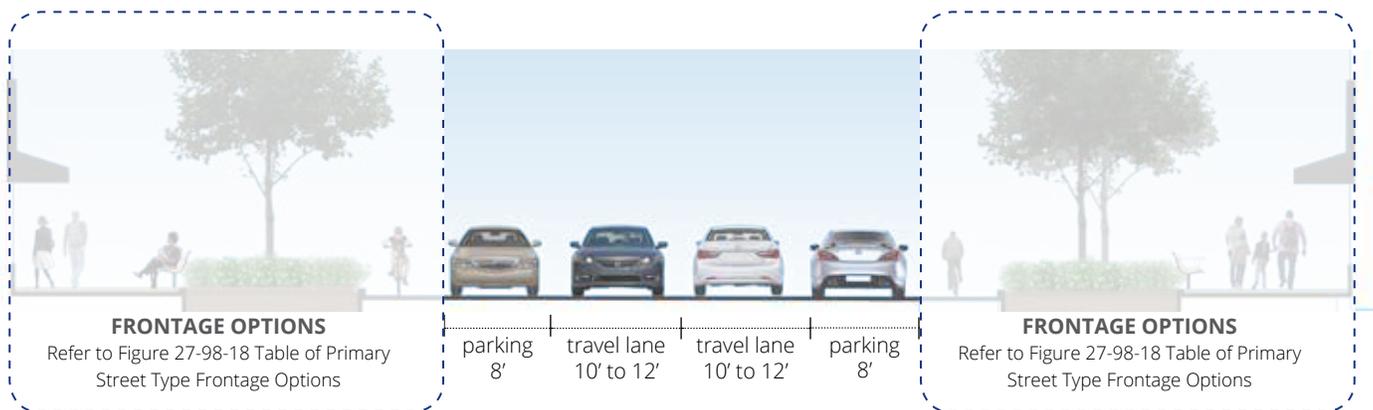


Figure 27-98-16 Primary Street Type Section: Typical

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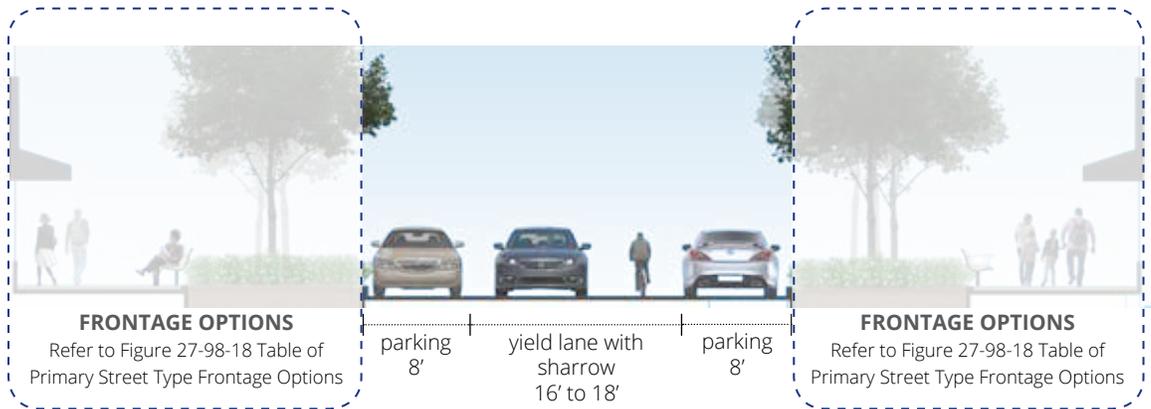


Figure 27-98-17 Primary Street Type Section: Narrow

FIGURE 27-98-18: TABLE OF PRIMARY STREET FRONTAGE OPTIONS					
	BUILDING EDGE refer to Figure 27-98-19	PARKING EDGE refer to Figure 27-98-20	YARD EDGE refer to Figure 27-98-21	COURTYARD/ PLAZA A OR B refer to Figure 27-98-22	DROP-OFF DRIVE EDGE refer to Figure 27-98-23
1 Minimum Depth of Frontage	24 feet	30 feet	16 feet	20 feet	20 feet
	The minimum depth of the frontage shall be measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth defined above.				
2 Street Buffer	Minimum Depth: Street buffer depth shall be a minimum of 6 feet wide.				
	Tree Planting: Canopy trees spaced minimum 35' on center in planters or wells, either raised or at grade, with access through planters to street, minimum every 60'.		Minimum of one tree per 30 linear feet of frontage, spaced equally or informally		
	Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 3 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 18 inches. Steps may also be incorporated.				
3 Sidewalk	Minimum 10' wide clear paved sidewalk with furnishings		Minimum 6' wide sidewalk		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per Public Works Director : an on-street dedicated bicycle lane, dedicated cycle track, or shared-use path adjacent to and marked separately from the sidewalk.				
5 Yard Treatment	Build-to Zone is directly adjacent to sidewalk	Minimum 5' landscape area is required to screen parking. Minimum 24" wide shrubs required 30" o.c.	yard depth determined PC Districts: by build-to zone of Building Type. Zoning District: by building setback	30' to 60' deep courtyard or plaza permitted with maximum of 30% of frontage in PC-2 and PC-3, maximum of 10% of frontage in PC-1	minimum 5' buffer; maximum 30' deep drop-off drive is permitted. maximum of 20% of frontage
6 Building & Parking Location	Article II. Zoning Districts for setback line or 27-105 Building Types for Primary Street Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.				

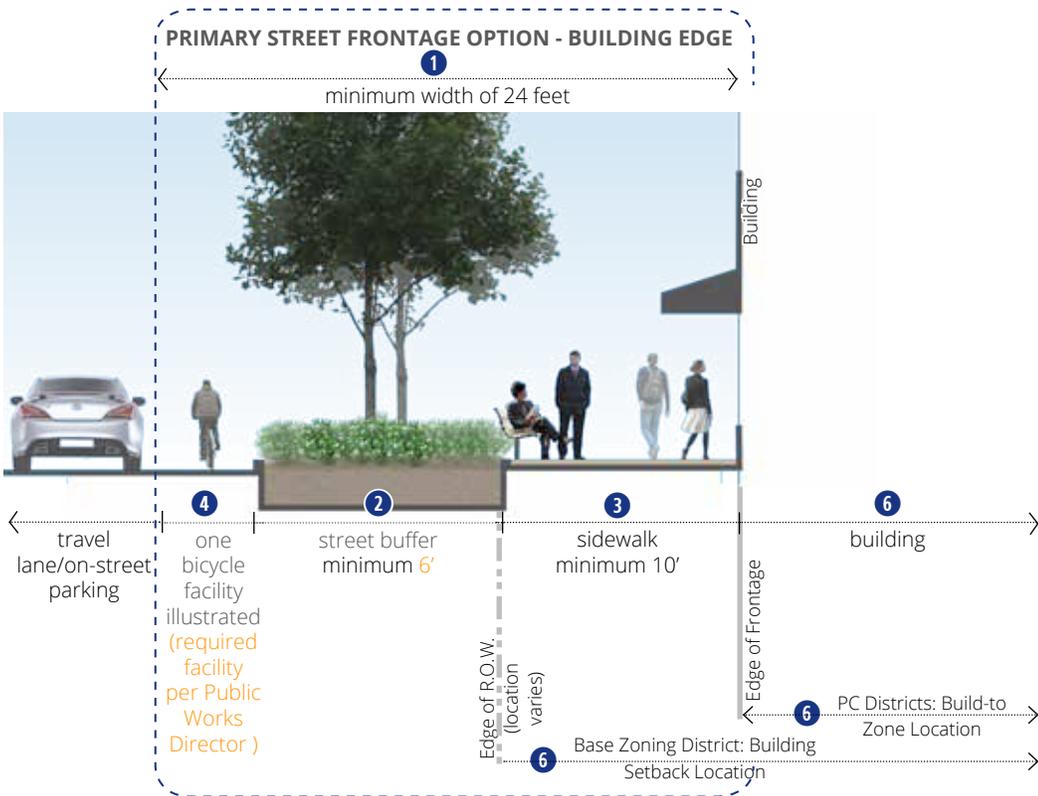


Figure 27-98-19 Primary Street Frontage Option - Building Edge

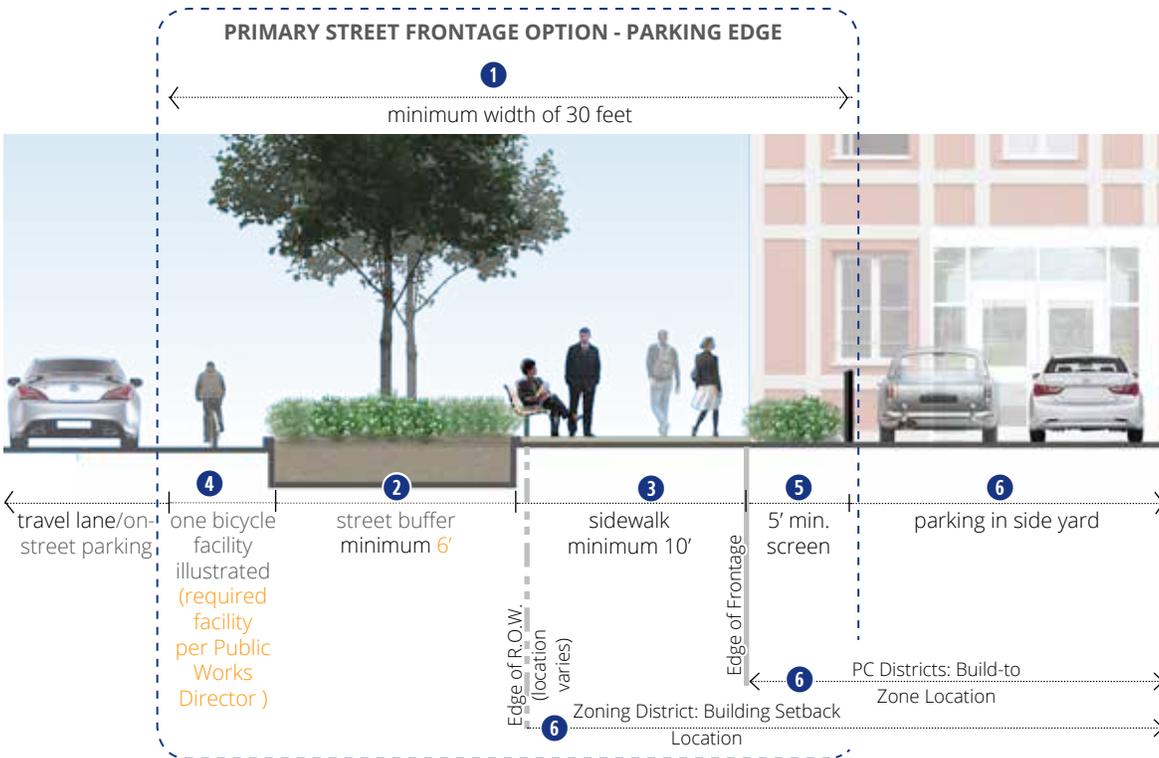


Figure 27-98-20 Primary Street Frontage Option - Parking Edge

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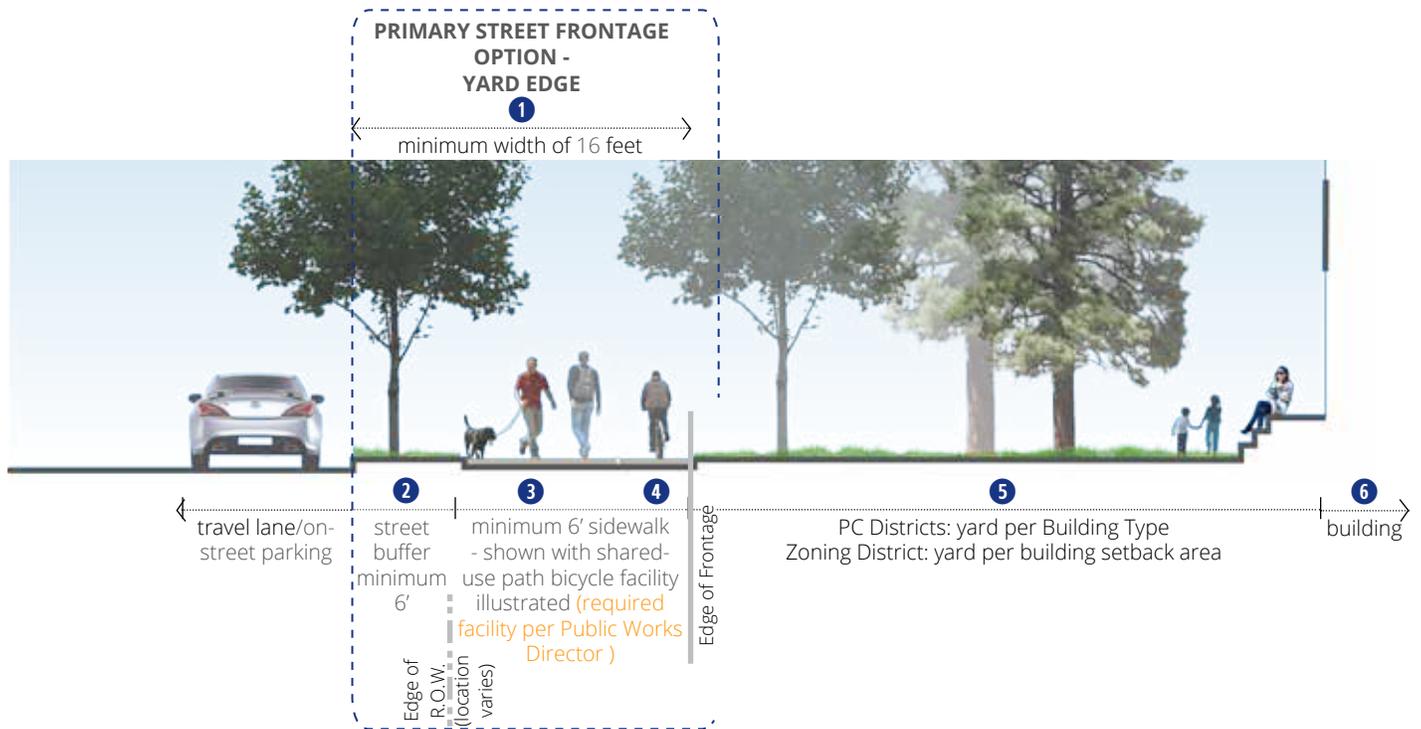


Figure 27-98-21 Primary Street Frontage Option - Yard Edge

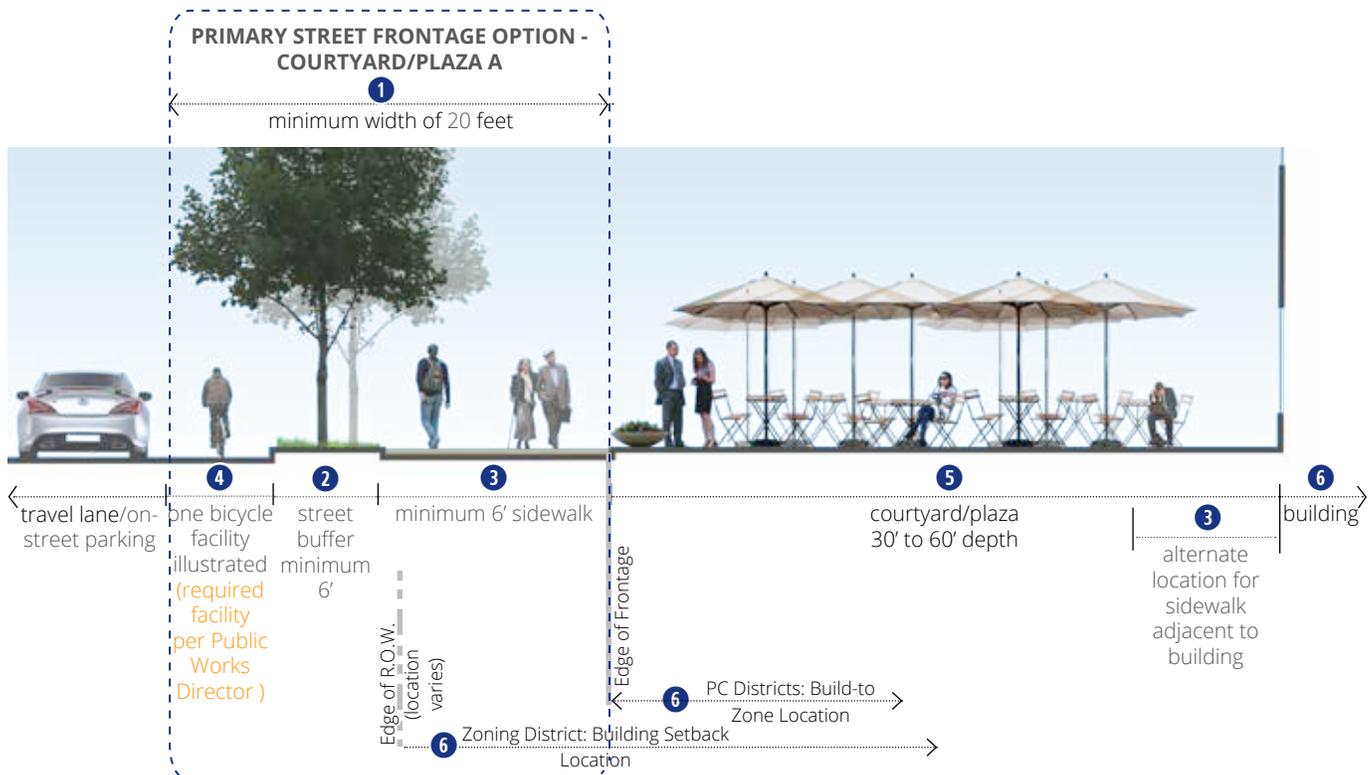


Figure 27-98-22 Primary Street Frontage - Courtyard/Plaza A

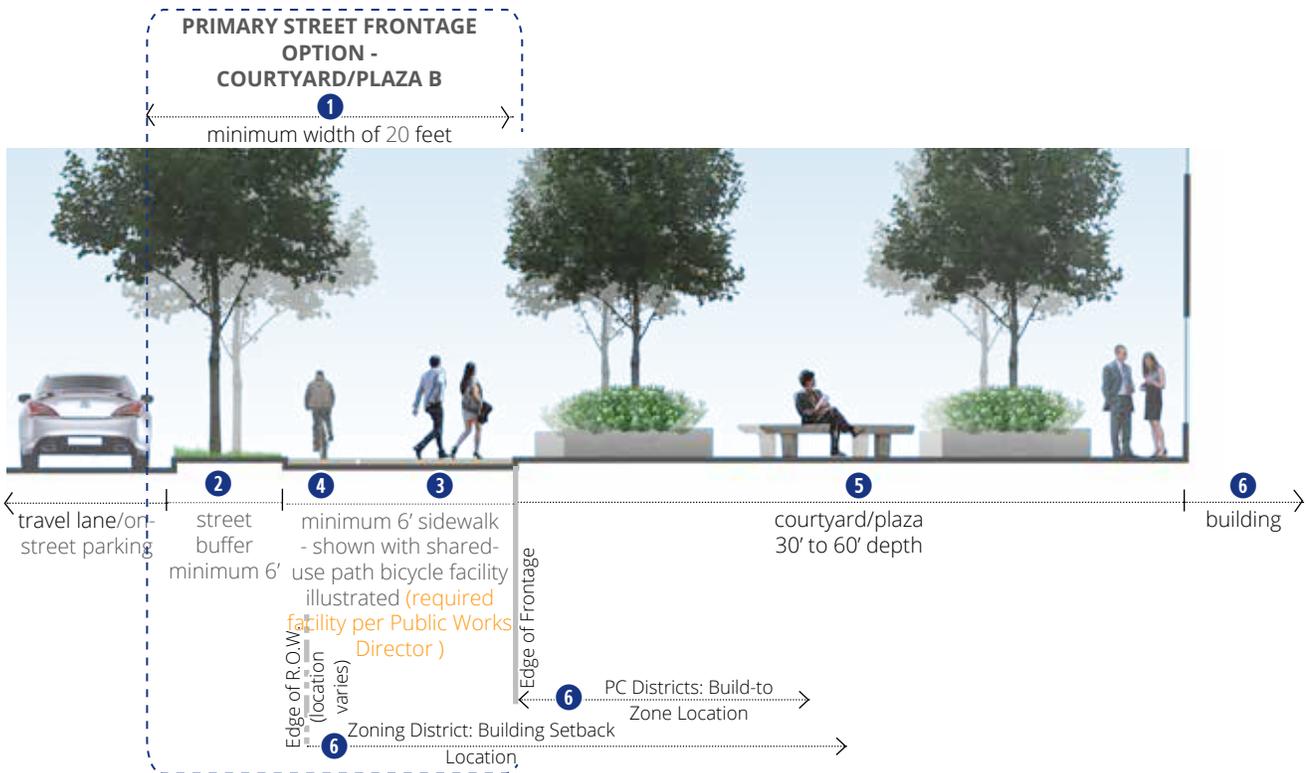


Figure 27-98-23 Primary Street Frontage Option - Courtyard/Plaza B

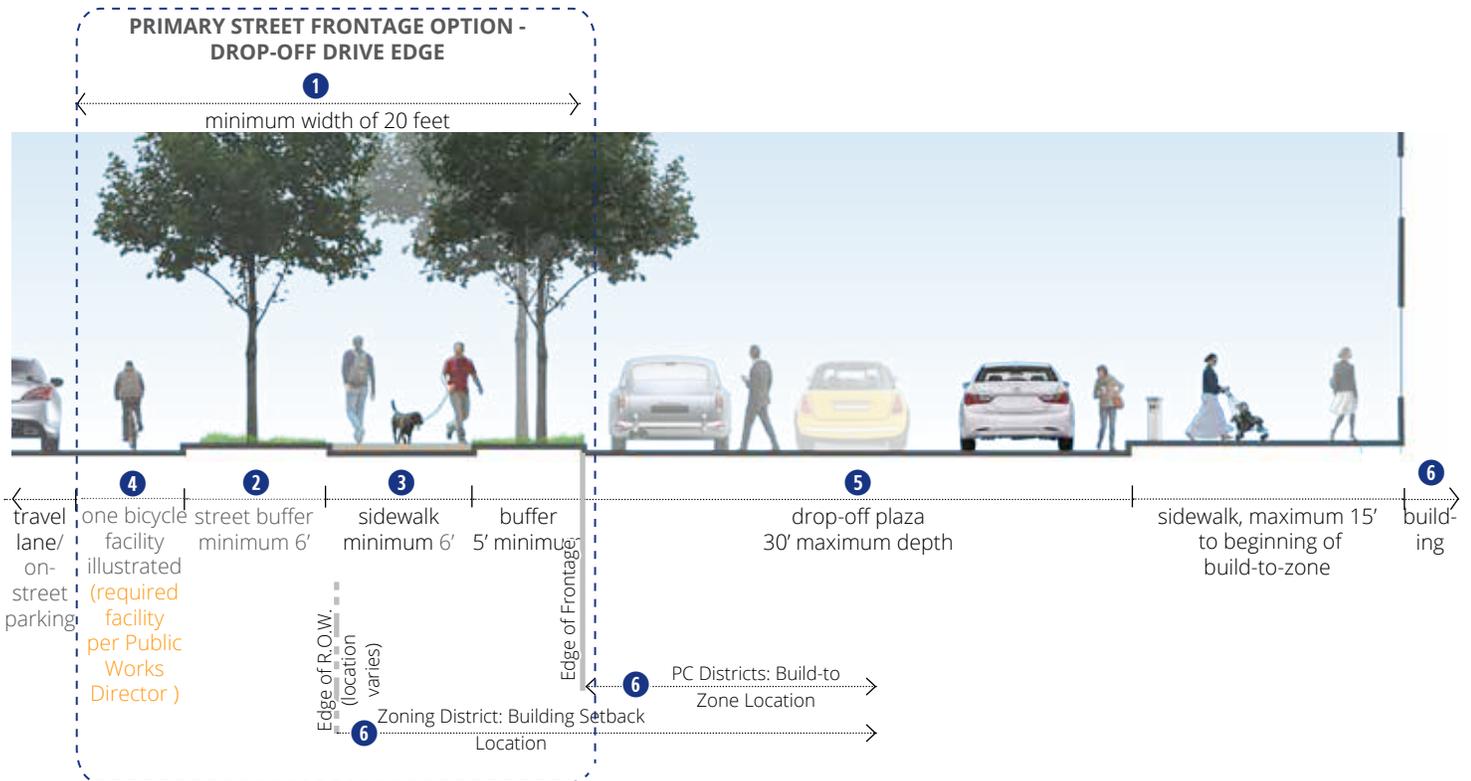


Figure 27-98-24 Primary Street Frontage Option - Drop-off Drive Edge

Street Types

(8) Secondary Street Type

The Secondary Street Type applies to new and existing streets per the [Street Types Map, Figure 27-98-2](#).

- a. **New Secondary Streets.** Refer to [Figure 27-98-24](#) for Secondary Street Type Requirements for new streets, [Figure 27-98-26 Secondary Street Section: Typical](#) illustrates the typical street section. A narrow version is available for limited application (refer to [Figure 27-98-27 Secondary Street Section: Narrow](#)).
- b. **Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Secondary Street as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Secondary Street Street frontage options along the entire length of the lot line abutting the

Secondary Street. Refer to [Figure 27-98-11 Table of Secondary Street Frontage Options](#).

- c. **Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. **Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-25: SECONDARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-25	LIMITED NARROW refer to Figure 27-98-26
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of Public Works Director /Community Development Director
Right-of-Way Width	66' to 100' per Public Works Director	60' to 75' per Public Works Director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per Public Works Director	16' to 18' per Public Works Director
Allowable Turn Lanes	Right turn lane	Not applicable
Parking Lanes	Parallel; minimum 8' wide (see variations for alternatives)	Parallel required on one side of street
Pavement Width	34' to 40' (see variations for alternatives)	32'
Frontage Options	Refer to Figure 27-98-28: Secondary Street Frontage Options	

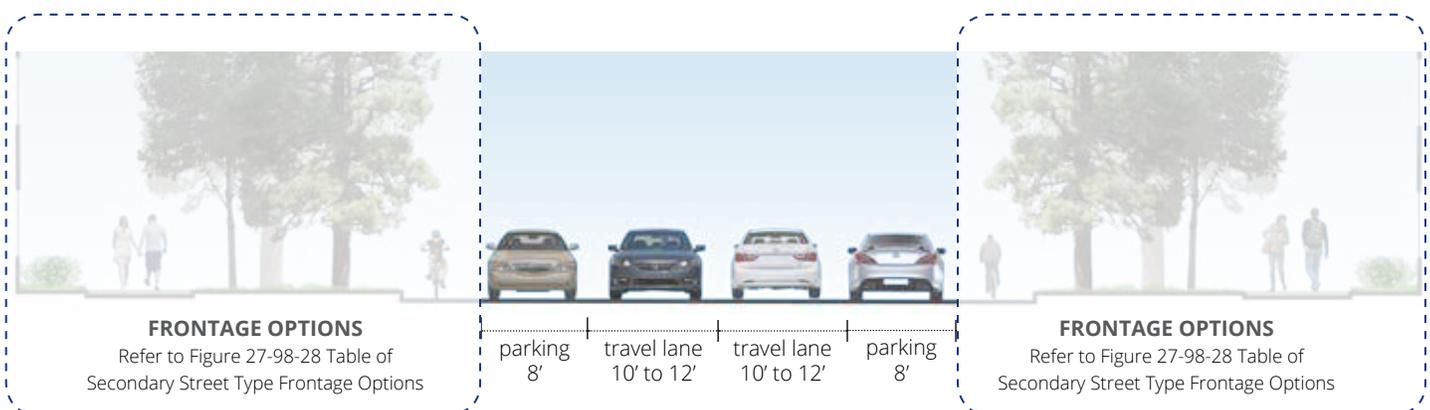


Figure 27-98-26 Secondary Street Type Section - Typical

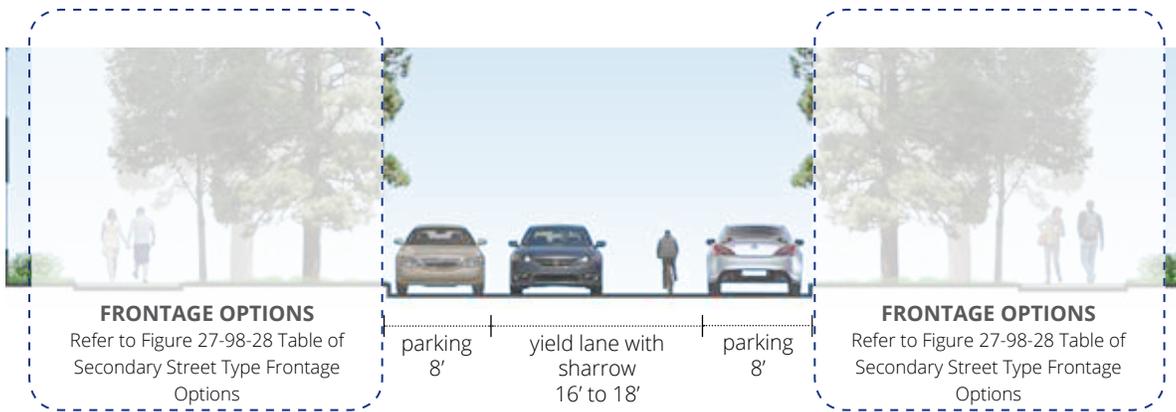


Figure 27-98-27 Secondary Street Type Section - Narrow

FIGURE 27-98-28: SECONDARY STREET FRONTAGE OPTIONS		
	PARKING EDGE refer to Figure 27-98-28	YARD EDGE refer to Figure 27-98-29
1	Minimum Depth of Frontage The minimum depth of the frontage shall be 20 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth.	
2	Street Buffer Minimum Depth: Street buffer width shall be a minimum of 6 feet wide. Tree Plantings: A minimum of one tree for every 300 square feet of buffer shall be provided, spaced evenly or informally. Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 4 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.	
3	Sidewalk A minimum 6 foot wide sidewalk is required in PC-1, PC-2, and PC-3 (6 foot in PC-4) and may meander between trees.	
4	Bicycle Facilities Shared, on-street bicycle facilities	
5	Yard Treatment A minimum 8' screen is required between parking and the sidewalk. The screen shall include a canopy tree every 30 feet of frontage, spaced evenly or informally, and a double row of shrubs, minimum 24" in height and width at maturity, staggered and spaced 24" on center.	A minimum 5' deep landscape yard is required, with a minimum of 30 shrubs, perennials, and/or grasses for every 500 square feet of yard area.
6	Building & Parking Location Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Secondary Frontage Options requirements for allowable widths of parking along the frontage and required building facades along the frontage.	

27-98 Perimeter Center Overlay

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Street Types

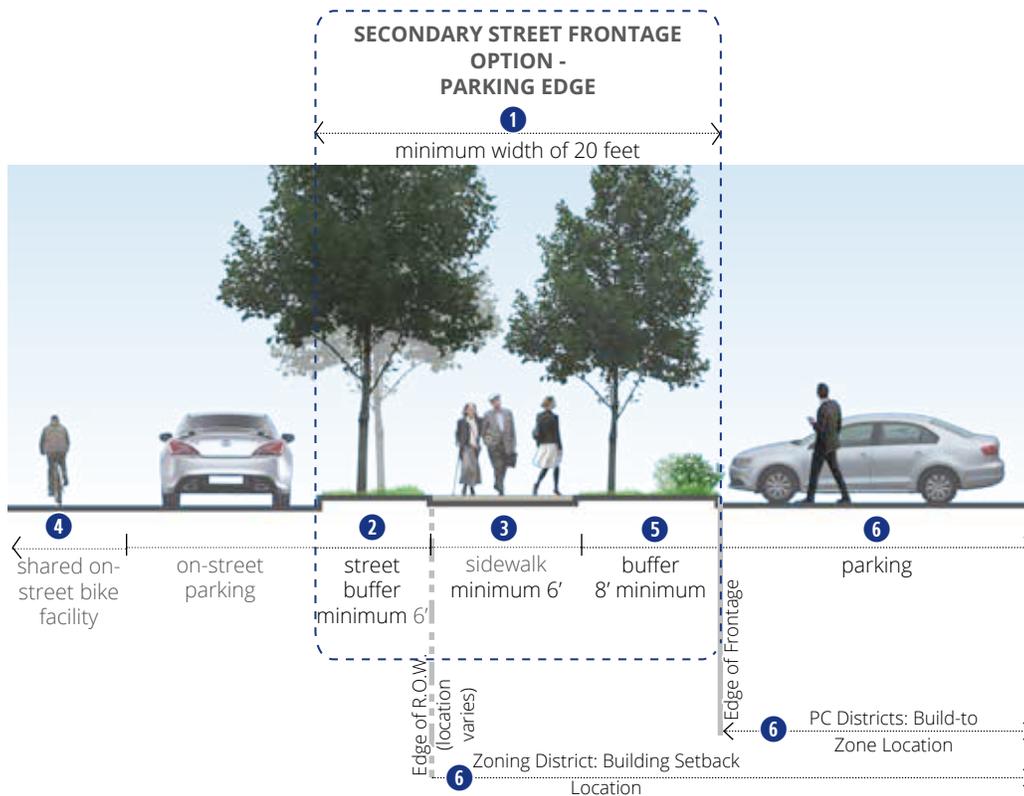


Figure 27-98-29 Secondary Street Frontage Option - Parking Edge

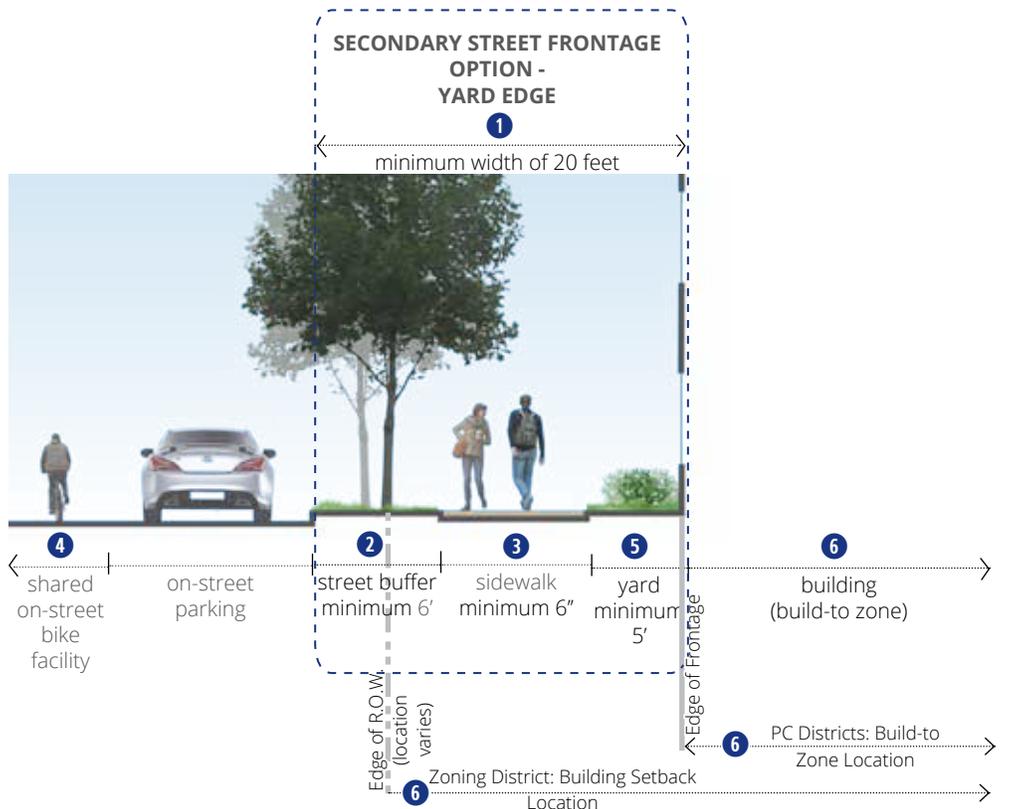


Figure 27-98-30 Secondary Street Frontage Option - Yard Edge

(c) Streets & Blocks

(1) Intent

The intent of the following requirements is to form an interconnected network of streets with multiple intersections and block sizes scaled to support multiple modes of transportation, including walking, biking, transit use, and driving, within the Perimeter Center Overlay area.

(2) Applicability

The following are general block, lot, and street design requirements applicable to all districts within the Perimeter Center Overlay area. Development sites meeting the following shall install new streets in accordance with this section.

- a. Any development project on a 5 acre or larger site and either increases or replaces an existing building footprint by 60 percent or more of existing gross building area; OR
- b. Any development project on a 5 acre or larger site that includes the replacement, renovation, or reconfiguration of 60 percent or more of the total site parking area (inclusive of required parking lot landscape areas).

(3) New Street Locations.

- a. **Street Types Map.** Proposed street locations are illustrated on [Figure 27-98-2 Street Types Map](#), defined to establish a network that would fulfill the Streets & Blocks intent and regulations.
- b. **Public Works Director .** Locations illustrated on the Street Types map are approximate. The requirements and locations of all street types shall be determined by and approved by Public Works Director during the Site Plan review process.

(4) Street Connectivity.

The following provides requirements and guidance for locating new streets and connecting to surrounding context.

- a. The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new developments.
- b. Cul-de-sac and dead end streets should be avoided and utilized only when topography and other existing barriers, such as highways, rail lines, or waterways, prevent street connectivity.
- c. Streets should follow natural features rather than interrupting or dead-ending at the feature.
- d. Streets should terminate at another street with either open space or a building facade across from the termination.

- e. When adjacent developments do not provide connectivity, coordinate with the Community Development Director and Public Works Director to determine the potential for future connections and provide for those connections.

(5) Block Configuration

Refer to [Figure 27-98-31](#) for an illustration of Typical Block Elements.

- a. Blocks should be deep enough to accommodate buildings facing streets with parking located in the interior. Refer to 27-98.B Street Types for minimum building frontages required for all streets.
- b. Blocks may be configured to include existing lots within an existing zoning district that is outside of the Perimeter Center Overlay.

(6) Maximum Block Size

A network of streets is required to meet the maximum block size requirement. Proposed new streets to meet these sizes are illustrated on the Street Type Map, [Figure 27-98-2](#).

- a. **Block Sizes for Zoning Districts.** Block sizes for residential and commercial development and redevelopment are designated in section 16-225.
- b. **Block Sizes for Perimeter Center (PC) Districts.** Block sizes for residential, mixed use, and commercial development and redevelopment

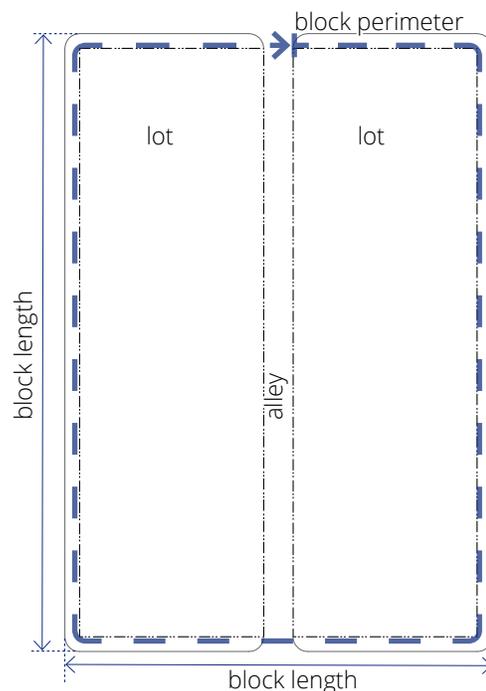


Figure 27-98-31 Typical Block Elements

are designated by district in [27-104 Districts](#) for the Perimeter Center districts.

- c. **Exceptions.** Exceptions to block sizes include locations adjacent to natural features, including steep grades and drainage areas, and other existing barriers, such as inability to connect to adjacent parcels.

(7) Block Driveway Access Configurations.

- a. Blocks may include alleys, drives, or driveway entrances for service, parking accessibility, and other routes internal to the development.
- b. Access to blocks should be aligned across the street from access to other blocks.
- c. In the Perimeter Center districts, driveway locations are defined in the general Building Type requirements. Refer to [27-105.A.10 Driveways](#).
- d. **Mid-Block Pedestrianways.** Mid-Block pedestrianways are required through blocks longer than 800 feet and at locations that connect public rights-of-way with other public facilities such as parks and transit.
 1. When combined with mid-block street crossings, these pathways should align to facilitate easy pedestrian movements.
 2. Mid-block pedestrianways should be located in the middle third of a block face.
 3. Minimum width for mid-block pedestrianways rights-of-way or easements is 20 feet.
 4. A minimum of 1 canopy tree per 600 square feet of area is required.
 5. Mid-block pedestrianways should be treated with the minimum design requirements per [27-98.D.13 Street Improvements](#).
 6. Shared-use paths through blocks per [27-98.B.3.d Trails](#) may fulfill the requirements for Mid-Block Pedestrianways.

(8) Street Types

Refer to [27-98.B Street Types](#) for requirements for streets.

- a. **Street Type.** All new and existing streets shall utilize one of the permitted Street Types per [Figure 27-98-2 Street Types Map](#) and the requirements of [27-98.B Street Types](#).
- b. **Frontage Options.** For each side of a street adjacent to or within the development, one of the frontage options defined by Street Type shall be utilized.
- c. **Other Internal Street.** Other street types completely internal to the development may

be approved by Public Works Director and the Community Development Director through minor exception.

- d. **Public Use.** All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
- e. **Dimensions.** The dimensions defined in each Street Type provide the acceptable ranges. Public Works Director shall determine the appropriate configuration and dimensions for each street. Minor exceptions may be approved by Public Works Director during the approval process.
- f. **Additional Director Requirements.** During the Pre-Submittal Conference, the Community Development Director and/or Public Works Director may adjust requirements for right-of-way, pavement width, or street elements depending on unique site locations and characteristics.
- g. **Street Construction.** All street construction, whether publicly dedicated or privately held, shall follow specifications defined by the City.

(9) General Street Requirements.

All streets should consider the following components:

- a. **Vehicular On-Street Parking.** On-street parking activates a street and supports adjacent businesses. As permitted on designated street types, shall meet the following requirements.
 1. **Orientation.** Parallel and diagonal parking is permitted on designated street types.
 2. **Vehicular Parking Space Dimensions.** Refer to [Sec. 16-237 for dimensions](#).
- b. **Bicycle Facilities.** All bicycle accommodations shall meet the requirements for the applicable street type and shall be coordinated with current area-wide bicycle access plans per Public Works Director .
- c. **Stormwater Management.** Incorporation of stormwater management best practices into the right-of-way design is encouraged, such as incorporating drainage swales and slotted curbs into the frontages or permeable paving in a parking lane.
- d. **Fire Access.** Street configurations have been calculated to provided fire truck access. Where the width of all travel lanes totaled is narrower than 20 feet, the following shall apply.
 1. **Room to Pass.** At 120 foot increments, a 20 foot opening in the on-street parking or a 20 foot dedicated pull-off space must be

provided to allow vehicles to pull over for a fire truck to pass.

2. **Driveway or Fire Hydrant Zone.** A driveway or fire hydrant zone may be utilized to fulfill the requirement.

e. Intersection Design. The following applies to all new intersections and existing intersections with a new street connection.

1. **Curb Radii.** With on-street parking on both streets, a 5-foot radius may be utilized.
2. **Actual Turning Radii.** Intersections should be designed for actual turning radius of the typical design vehicle as opposed to the maximum design vehicle. Small curb radii at intersections shorten pedestrian crossing distances and reduce vehicle turning speeds. Refer to [Figure 27-98-32 Actual Turning Radius](#).

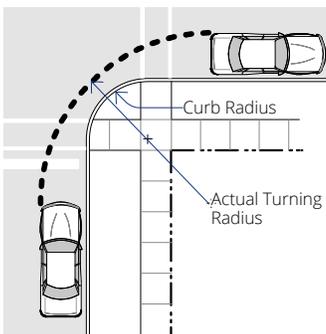


Figure 27-98-32 Actual Turning Radius

Transitional Buffers

(d) Transitional Buffers

(1) Intent. Transitional buffers are intended to be landscape yards, sized by adjacency to different districts, and providing landscape and trees to serve as a buffer in the rear and side yards.

(2) Required Transitional Buffers

- a. Table of Minimum Buffers.** Refer to [Figure 27-98-34](#) for minimum buffer yard sizes between the different districts.
- b. Buffer Tree Canopy Coverage.** One canopy tree is required per every 2,000 square feet of buffer area, excluding the area within any required landscape screen.
- c. Existing Vegetation.** The Community Development Director may credit existing vegetation toward the transitional buffer requirement.
- d. Ground Plane Vegetation.** All buffer areas are to be landscaped with a combination of planting beds that may include shrubs, ornamental grasses, ground cover, vines, or perennials; and sodded grass. Non-living materials, such as pine straw or mulch are permitted for up to 50 percent of the buffer. Additional mulch area may be approved by the Community Development

Director when significant existing tree cover exists.

- e. Trails.** Pedestrian and bicycle trails may be incorporated into the buffer area.
 - f. Open Water.** Open water bodies, such as ponds or lakes, may be incorporated into the buffer area; however, a minimum 30 foot wide landscape edge is required surrounding the water body, unless otherwise agreed upon by the neighboring property.
 - g. Use.** Uses and materials other than those indicated are prohibited within the buffer.
 - h. Exceptions.** Landscape buffers are not required for the width of any driveway plus adjacent sidewalks and tree planting/furnishing zones.
- (3) Screen.** Where a screen is required per [Figure 27-98-34 Table of Minimum Transitional Buffers](#), refer to [Figure 27-98-35 Landscape Screen Requirements](#).
- (4) Installation of Landscape.** Refer to Chapter 16, Appendix B Tree Installation and Appendix D Planting Standards.

MINIMUM TRANSITIONAL BUFFERS REQUIRED BY ADJACENT DISTRICTS								
WHEN LOT IS ADJACENT TO:								
DISTRICT	C-1 OCR PC-1 DISTRICT	O-I CR-1 PC-2 DISTRICT	O-D PC-3 DISTRICT	RM-HD PC-4 DISTRICT	ANY SINGLE FAMILY DISTRICT	ADJACENT MUNICIPALITY	OPEN SPACE	
BUFFER REQUIRED ON LOT DESIGNATED AS:	C-1 OCR PC-1 DISTRICT	5 ft	5 ft	5 ft	15 ft with screen	50 ft with screen	5 ft	5 ft
	O-I CR-1 PC-2 DISTRICT	15 ft	5 ft	20 ft	15 ft with screen	50 ft with screen	10 ft	5 ft
	O-D PC-3 DISTRICT	15 ft	20 ft	20 ft	15 ft with screen	40 ft with screen	10 ft	15 ft
	RM-HD PC-4 DISTRICT	15 ft	15 ft	15 ft	20 ft	35 ft	15 ft	10 ft

Figure 27-98-33 Table of Minimum Transitional Buffers

LANDSCAPE SCREEN	
1 Size	12 feet minimum width
2 Location	Along property line as required per Figure 27-98-14 Table of Minimum Transitional Buffers
3 Hedge	Continuous double row of shrubs required between canopy trees
4 Hedge Composition	Double row of individual shrubs with a minimum width of 24 inches, spaced no more than 36 inches on center; mature height in one year of 24 inches
5 Hedge Frequency	Minimum of 15 shrubs per 100 feet of property line is required
6 Canopy Trees	Minimum of 3 canopy trees per 100 linear feet of screen.

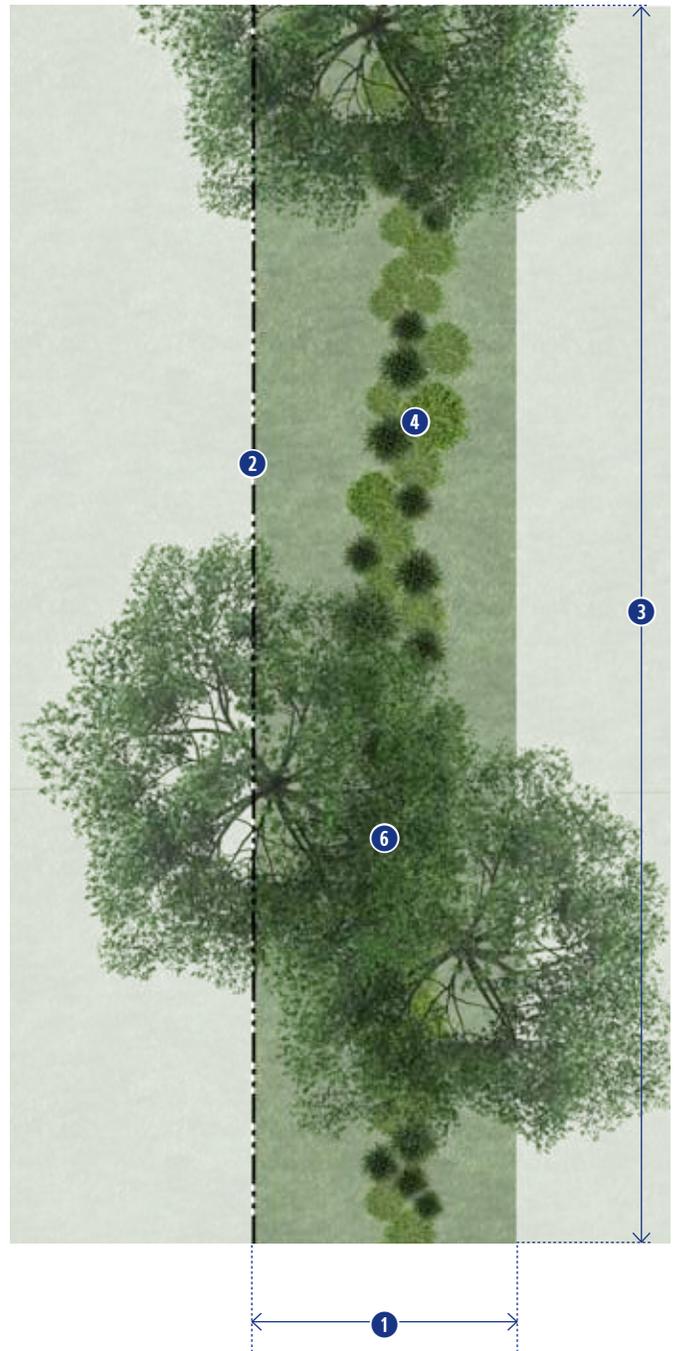


Figure 27-98-34 Landscape Screen Requirements & Plan Illustration

27-98 Perimeter Center Overlay

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General Building Design Requirements

(e) General Building Design Requirements

(1) Applicability. The following outlines the general design requirements applicable to all buildings within the Perimeter Center Overlay. These requirements apply to all facades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.

(2) Intent. These requirements are intended to address each building's appearance and cohesiveness with the overall Perimeter Center Overlay area. Further, the requirements are intended to elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

(3) Materials and Color.

a. Major Materials. A minimum of 80 percent of each facade shall be constructed of major materials. Street facade materials shall continue

around the corner of the building to non-street-facing facades a minimum depth of 20 feet.

- 1. Permitted Materials.** Permitted major facade materials include high quality, durable, finish materials. The following are acceptable major facade materials: stone, brick, glass (except glass curtain wall), cement-based stucco, wood lap siding and shingles, architectural metal siding, concrete, and fiber cement siding or shingles (such as HardiePlank, HardieShingle, or HardiePanel vertical siding or similar). Refer to [Figure 27-98-36 Major Materials](#).
- 2. Specially-Approved Materials.** Other high quality materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.



Major Materials: Brick, stone



Major Materials: Glass, concrete

Figure 27-98-35 Major Materials.



Roof Materials: Asphalt Composite 3-Dimensional Shingles



Roof Materials: Ceramic Tile

Figure 27-98-36 Roof Materials.

3. **Prohibited Materials.** Exposed concrete, synthetic stucco, unfinished wood, concrete masonry units (CMU), glass block, and vinyl are not permitted as a primary facade material.
 4. **Materials Specific to Districts.**
 - i. Brick types larger than 3 inches in height, such as economy bricks, are not permitted in the PC-1 and the PC-4 Districts.
 - ii. ~~Glass curtain wall is permitted only in the PC-2 District above the first floor and in the PC-1 District above the third floor.~~
- b. Minor Materials.** Minor facade materials are limited to trim, details, and accent areas that combine to less than 20 percent of the facade surface.
1. **Major Materials.** All major materials may serve as secondary materials.
 2. **Minor Materials.** Additional minor materials include fiber cement and wood; metal for beams, lintels, trim, and ornamentation; burnished, glazed, or honed concrete masonry units (CMU) or block for trim and details (not surfaces); split-face, honed, or glazed concrete masonry units with a height less than 4.5 inches for surfaces less than 10 percent of the facade surface; cast stone concrete elements; and vinyl for trim and details.
 3. **Upper Stories Only.** Synthetic stucco or exterior insulation and finishing systems (EIFS), such as dryvit, are permitted as a secondary material on upper floor facades only.
- c. Roof Materials.** On roofs of buildings lower than 8 stories, acceptable sloped roof materials include premium, 3-dimensional or laminated asphalt composite shingles; wood shingles and shakes; metal tiles or standing seam; slate; and ceramic tile. "Engineered" wood or slate may be approved during the site plan review process with an approved sample and examples of successful, high quality local installations. Refer to [Figure 27-98-37 Roof Materials](#).
- d. Color.** Painted materials shall utilize hues from any historic palettes from any major paint manufacturer. Other colors may be utilized for details and accents, not to exceed a total area larger than 10 percent of the facade surface area.
- e. Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all buildings, with the exception of Townhouse and Yardhouse Building Types in the PC Districts.
- (4) Windows, Awnings, and Shutters.**
- a. Quantity of Windows.** A minimum of 15 percent window coverage is required per story on all street facing facades and any facade visible from a street.
1. **Measurement.** Window requirements are measured as a percentage of the facade between floor levels.
 2. **Blank Walls.** Windows shall be distributed so that no 30 foot section of any story is windowless and violates the minimum percentage requirements.
- b. Recessed Windows.** All upper story window glass on all mixed use and residential buildings shall be recessed a minimum of 2 inches, ~~unless glass curtain wall is utilized.~~
- c. Transparent Glass.** All window glass shall be highly transparent with low reflectance. Light transmission should be approximately 90 percent for ground story windows and a minimum of 75 percent for upper story windows.
- d. Lintels.** Lintels shall be expressed above all windows and doors, whether by a change in brick coursing or a separate element, ~~unless glass curtain wall is utilized.~~
- e. Security Grills.** Grills shall be fully retractable and completely within the interior of the building and inconspicuous to the extent possible. Exterior bars are prohibited on any window.
- f. Awnings.** All awnings shall be canvas or metal. Plastic awnings are prohibited. Awning colors shall meet the requirements of [27-98.E.3.d Color](#). Awnings are preferred to have open ends. Add Awning Shapes permitted? No curved? Refer to [Figure 27-98-38 Awnings](#).
- g. Shutters.** If installed, shutters, whether functional or not, shall meet the following requirements:
1. All shutters shall be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
 2. Shutters shall be wood, metal, or fiber cement. Other "engineered" woods may be approved during the site plan process with an approved sample and examples of



Permitted Awnings: Metal



Permitted Awnings: Canvas

Figure 27-98-37 Awnings



Figure 27-98-38 Balconies Integral to Facade

successful, high quality local installations. Vinyl shutters are also permitted in a color consistent with the trim of the building.

(5) Balconies. Balconies include any platform that projects from the wall of a building above grade and is enclosed by a parapet or railing. These regulations do not apply to false balconies, sometimes referred to as Juliet balconies or balconets, **which are permitted**. False balconies consist of a rail and door, with no outdoor platform. The following applies in all locations where balconies are part of the facade facing any street. Refer to [Figure 27-98-39 Balconies Integral to Facade](#).

- a. Size.** Balconies shall be a minimum of 4 feet deep and 6 feet wide.
- b. Connection to Building.** Balconies shall be integral to the facade. Balconies on stepped-back stories may be independently secured, extending from the facade. Balcony structure shall not include more than one balcony **platform; however, the platform may be divided divided to serve two units.**
- c. Facade Coverage.** A maximum of 40 percent of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.

(6) Garage Doors. The following requirements apply to garage doors **provided** on any street facade.

- a. Location.** Garage doors are not permitted on Primary Street facades unless not utilized for vehicular access (but for patio access, open air dining). Garage doors are permitted on Secondary Street Facades with direct access to the street. The preferred location is on interior lot facades.



b. Recessed from Facades. Garage Doors located on street facing facades shall be recessed a minimum of 3 feet from the dominant facade of the principal building facing the same street.

c. Design. Garage doors facing a Secondary Street and intended to be closed during business hours shall be clad in a primary material with a design consistent with the design of the building. Carriage-style doors are required on the Townhouse and Yardhouse Building Type.

(7) Ground Story at Sloping Facades.

a. Intent. Given the slopes in many parts of the Perimeter Center area, building design must accommodate grade changes along the sidewalk without creating tall, out-of-scale blank walls. Large, unarticulated building facades signal to pedestrians that an area is not intended for walking, reducing activity in the area and creating dead zones. Refer to [Figure 27-98-40](#) for example.

b. Regulations for Shopfronts.

1. Grade transitions at the building scale along the sidewalk should be designed to maximize active pedestrian-scale frontages between waist and eye level while minimizing blank walls.
2. When possible, the interior floor configuration should step to match the exterior grade.
3. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by a storefront window display space.

4. Knee wall shall not exceed 30 inches in height except along a maximum 15 foot section of facade length.
5. If grade change is more than 12 feet along a single block face, entrance requirements may be increased to one entrance per 80 feet of building frontage.

c. Regulations for Residential and other Building Frontages.

1. Grade transitions at the building scale along the sidewalk should be designed to minimize blank walls.
2. When possible, the interior floor configuration should step to match the exterior grade.
3. Multiple front entrances along the street activate each segment of building section at each grade.
4. Transition zones between the sidewalk and building facade of porches, terraces, and landscape areas can assist with grade changes.
5. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by terraced planters and retaining walls.
6. Retaining walls shall not exceed 30 inches in height except along a maximum 15 foot section of frontage.



Figure 27-98-39 Examples of Ground Story along Slope.

General Building Design Requirements

- 7. When the elevation of the first floor is more than 3 feet above grade, windows should be provided into the basement or lower floor elevations.

(8) Fueling Stations.

Refer to [Figure 27-98-41](#) for one illustration of the following requirements.

- a. Structure Location.** Any building shall be built up to any corner with the longest facade along any Primary Street. If no Primary Street abuts the parcel, along the Parkway Facade.
- b. Side Yard Parking.** One double loaded aisle of parking is permitted on the interior side along a Primary Street, perpendicular to the street.
- c. Pumps and Canopy Location.** The pumps and canopy may be located on the interior of the parcel, but may have front driveways to a street.
- d. Structure Build-to Zone.** The structure shall be built to within 5 feet to 15 feet of the edge of the Street Type frontage.
- e. Structure Facade Design.** The facade of any building shall meet all general design requirements within this section, [27-98.E](#).

- f. Pavement.** Site paving shall consist of maximum 22 feet driveways and lanes along parking and along pumps. All other areas shall be landscaped.

(9) Accessory Drive-through Structures.

Refer to [Figure 27-98-42](#) for one illustration of the following requirements.

- a. Structure/Canopy.** Drive-through structures or canopies shall be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. The structure shall not be visible from any Primary Street.
- b. Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
- c. Materials.** The canopy and structure shall be constructed of the same materials utilized on the building.

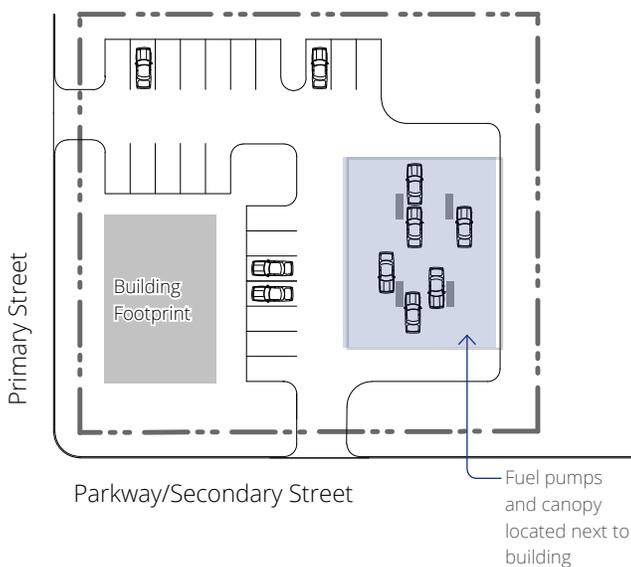


Figure 27-98-40 Recommended Gas Station Layout.

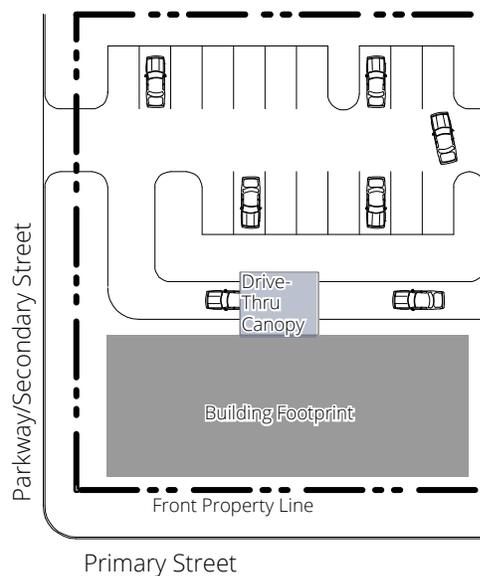


Figure 27-98-41 Recommended Drive-Through Facility Layout.

(10) Parking Structures Fronting a Street.

The following requirements are provided for parking structures fronting a Secondary Street or Parkway.

- a. **Applicability.** The following applies to all parking structures fronting a street.
 - 1. **Primary Streets.** Parking structures, whether accessory or principal use, shall not front a Primary Street, **unless a Special Land Use Permit is approved per 27-10.**
 - 2. **Perimeter Center Districts.** In the Perimeter Center (PC) Districts, parking structures as the principal use on the lot require a special land use permit (refer to Section 27-351 Special Land Use Permits) and shall meet the following requirements. Accessory parking structures are permitted to front Secondary Streets and, in some cases, Parkways, per the Building Type regulations.
- b. **Example Image.** Refer to [Figure 27-98-43 Example of Permitted Parking Structure](#) for an illustrative example of a parking structure, illustrating elements of compliance.
- c. **Frontage Requirements for all Street Types.** Refer to 27-98.B Street Types for frontage requirements between the curb and the building.
- d. **Parking Structure Design Requirements.**
 - 1. **Materials.** Primary and secondary material requirements defined in the Perimeter Center Overlay for all buildings shall be met

on all street facades of the parking structure. Additional permitted secondary material is stained, finished concrete. Refer to [27-98.E.3 Materials & Color](#).

- 2. **Ramps.** Facades with ramps and slopes shall be located on the rear or interior side of the lot, or on Secondary Streets as designated in [Figure 27-98-2 Street Types Map](#).
- 3. **Facade Divisions.** Vertical divisions the full height of the structure are required every 30 feet to de-emphasize the horizontal decks. Divisions shall be a minimum of 2 feet in width with a minimum projection of 2 inches.
- 4. **Blank Wall Limitations.** No rectangular area greater than 30 percent of any story's facade, as measured from floor to floor, and no horizontal segment of a story's facade greater than 15 feet in width may be solid, blank wall.
- 5. **Pedestrian Entry.** A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the sidewalk. If the entry is enclosed, windows are required to meet a transparency rate of 65 percent.
- 6. **Cap.** The top story of the parking structure shall include a parapet roof type along the street facades. For Perimeter Center Districts, refer to [27-105.D.10 Roof Types](#).
- 7. **Vehicular Entrances.** Driveways shall be no wider than 22 feet and the entrance and exit should be split, if possible. Driveway access should be located on a Secondary Street, where available. If no Secondary Street abuts the parcel, then the drive should be located off a Parkway. No more than two access points shall be located on any one street.

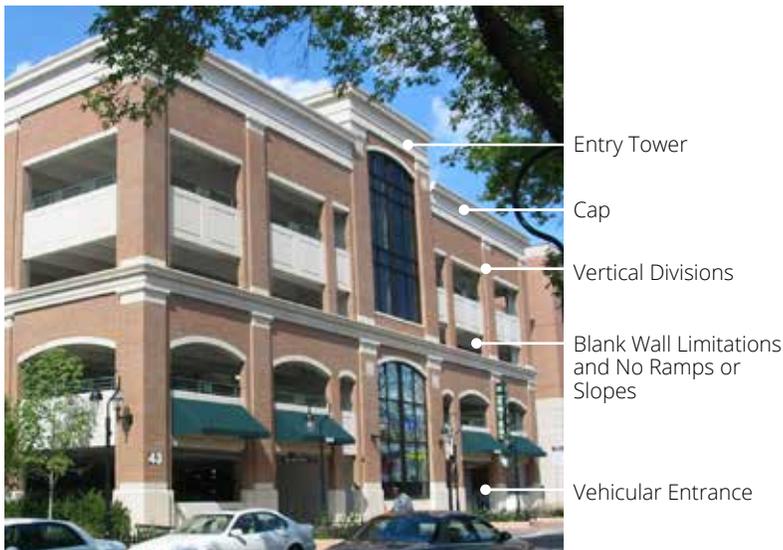


Figure 27-98-42 Example of Permitted Parking Structure

(f) Sustainability Measures

(1) Intent. The following requirements are intended to further the sustainability goals of the City defined in the most current Sustainability Plan adopted by the City.

(2) Applicability. The sustainable development measures in this section shall be addressed by all developments in the Perimeter Center Overlay in accordance with the following minimum point values based on project magnitude. **Measures count only if they are part of the new development application; measures already in place at the time of application do not count.**

- a. 2 Points Minimum.** Any development project that either increases an existing building footprint by 30 percent or more of gross building area; or includes the replacement, renovation, or reconfiguration of 60 percent or more of the total site parking area (inclusive of required parking lot landscaping areas), shall earn a minimum of 2 points in accordance with this section.
- b. 5 Points Minimum.** Any development project that increases an existing building footprint by 60 percent or more of gross building area shall earn a minimum of 5 points in accordance with this section.
- c. 7 Points Minimum.** Any development project that involves the complete renovation or replacement of an existing building shall earn a minimum of 7 points in accordance with this section.

(3) Calculation & Evaluation.

- a. Minimum Points.** All point values shall be awarded based on meeting the minimum requirements of each sustainability measure, as indicated in this section. The sum of all assigned values for achieved sustainability measures, as indicated in this section and summarized in [Figure 27-98-44 Sustainability Measures & Values](#), shall meet the minimum point requirement per project.
- b. Review and Approval.** Documentation of which measures and total number of points the applicant will achieve shall be indicated on the Development Permit application submitted to the City (refer to Article V, Division 9).
- c. Requirements.** The applicant shall achieve no fewer than the required points based on project magnitude (see 27-98.F.2, above) from any combination of the sustainable development measures as valued in [Figure 27-98-44](#)

MEASURES	VALUE
Certified Green Building	7 points
Building Energy Efficiency	3 points
Building Water Efficiency	2 points
Water-Efficient Landscaping	2 points
Renewable Energy Sources	5 points
Green Roof	4 points
Heat Island Reduction	2 points
Pervious Pavement	2 points
Enhanced Bicycle Amenities	up to 2 points
Alternative Measure	1 to 3 points

Figure 27-98-43 Sustainability Measures & Values

Sustainability Measures & Values. No partial points will be accepted.

- d. Documentation.** The applicant shall submit supporting documentation as noted per measure.

(4) Measures & Requirements

a. Certified Green Buildings Measure

- 1. **Minimum Requirement.** Certify a new construction building or building undergoing major renovations through a green building rating system requiring review by an independent, third-party certifying body and approved by the Community Development Director. **The score shall be mid- to high-level, reflecting multiple measures included in this section 27-98.F, such as silver, gold, or platinum by a USGBC green building product.**
- 2. **Documentation.** Required documentation includes registration of the project with the system, payment of all applicable fees for the rating system, and a draft scorecard showing the achieved credits or points.

b. Building Energy Efficiency Measure

- 1. **Minimum Requirements.**
 - i. **New Construction Buildings.** Newly constructed buildings must demonstrate an average 10 percent improvement

over the energy code currently in effect in the city.

- ii. **Major Renovation.** Building must demonstrate an average 5 percent improvement over the energy code currently in effect in the city.

2. **Documentation.** Required documentation includes an energy model demonstrating that the building(s) will achieve the proposed improvements.

c. Building Water Efficiency Measure

1. **Minimum Requirements.** Indoor water use in new buildings and major renovations must be an average 20 percent less than in baseline buildings. Baseline water usage shall be determined based on fixtures per the Energy Policy Act of 1992 and subsequent rulings by the United States Department of Energy or a similar method approved by the Community Development Director.
2. **Documentation.** Required documentation includes cut sheets for all water fixtures.

d. Water-Efficient Landscaping Measure

1. **Minimum Requirements.** Reduce potable water used for landscape irrigation by 50 percent from a calculated midsummer baseline case by using either one of the following methods:
 - i. Utilizing all xeriscape plant materials and providing no permanent irrigation system
 - ii. Using only captured rainwater with an irrigation system
2. **Documentation.** Required documentation includes a landscape and irrigation plan, illustrating the system.

e. Renewable Energy Sources Measure

1. **Minimum Requirements.** Incorporate renewable energy generation on-site with production capacity of at least 5 percent of the building's annual electric or thermal energy, established through an accepted building energy performance simulation tool.
2. The following renewable energy generation sources are applicable:
 - i. Solar thermal or photovoltaics.
 - ii. Ground-sourced heating or cooling.
 - iii. Fuel cells and microturbines using non-fossil fuel
 - iv. Wind energy conversion.

- v. **Other means of generating electricity without using a fuel, such as kinetic, heat exchange, approved by the Community Development Director.**

3. **Documentation.** Required documentation includes specifications and construction details for the installation of the system.

f. Green Roof Measure

1. **Minimum Requirements.** Install a vegetated roof for at least 50 percent of any building roof area or roof deck.
2. **Documentation.** Required documentation includes roof construction plans with drainage and planting details.

g. Heat Island Reduction Measure

1. **Minimum Requirements.** Use any combination of the following strategies for 35 percent of all on-site, non-roof hardscape areas, including sidewalks, plazas, courtyards, parking lots, parking structures, and driveways.
 - i. **Tree Canopy Cover.** Coverage of the surface at canopy tree maturity in 15 years.
 - ii. **Solar reflective paving & roofing with a SRI (solar reflectance index) of at least 29.**
2. **Documentation.** Required documentation includes plans and specifications for installation of the strategy.

h. Pervious Pavement Measure

1. **Minimum Requirements.** Install an open grid or pervious pavement system that is at least 40 percent pervious on 80 percent of all hardscape surface areas, including sidewalks, plazas, courtyards, parking lots, and driveways. **The water shall be directed into the groundwater or other acceptable storm accommodation per Public Works Director .**
2. **Documentation.** Required documentation includes plans and specifications for installation of the strategy.

i. Enhanced Bicycle Amenities Measure

1. **Minimum Requirements.** **Inclusion of 2 of the following earns 1 point. Inclusion of 3 of the following earns 2 points.**
 - i. **Lockable enclosed bicycle storage.** Provide 1 secure, enclosed bicycle

storage space for 10 percent of planned employee occupancy.

- ii. **Employee shower facilities.** Provide a minimum of one shower facility per 150 employees, minimum of one.
- iii. **Bicycle parking spaces.** Provide bicycle parking at the following rates:
 - (a) **Nonresidential.** One short- or long-term bicycle parking space for every 5 required motor vehicle parking spaces. Refer to 27-202 for minimum motor vehicle parking ratios.
 - (b) **Residential.** Two long-term parking spaces, per 27-205, for each residential unit.
 - (c) **Motor Vehicle Space Reduction.** The maximum allowable reduction in motor vehicle parking spaces, permitted per 27-205, shall be utilized in all cases.
- iv. **Repair Center.** Provide a designated bicycle repair center open to the public and consisting of an air pump, water, and tools at a minimum.

2. **Documentation.** Required documentation includes site and/or building plans locating the measures included.

j. Transportation Demand Management.

1. **Minimum Requirement.** Provision of 3 or more of the following transportation demand management tools on the project.
 - i. Flex-time work schedules by employers to reduce congestion at peak times.
 - ii. Provision of building or project bicycle rentals for use by any occupant.
 - iii. Free ride home in case of emergency or sickness for employees using transit.
 - iv. Provision of transit passes to building occupants for a period of 2 or more years.
 - v. Other tools that encourage transit and bicycle use, or reduce personal vehicular traffic may be approved by the Community Development Director
2. **Documentation.** Required documentation includes a written narrative of the tools to be provided and any other documentation required by the Community Development Director.

k. Alternative Measure (1 to 3 points).

The applicant may submit an alternative sustainable development measure for review and recommendation by the Community Development Director. The measure shall further a sustainability goal and shall not be considered standard practice for current developments.

1. **Minimum Requirements.** The measure shall be unrelated to any of the other measures defined in this Section. Based upon their review, the Community Development Director shall make a recommendation for the number of points to be awarded.
2. **Documentation.** Required documentation shall clearly illustrate that the project will achieve the measure and that the measure furthers a sustainability goal.

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