

DRAFT



Perimeter Center Districts

City of Dunwoody, Georgia



DRAFT
JULY 24, 2015



City of Dunwoody

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27-103 General

SECTIONS

- A. Intent & Applicability
- B. Administration & Procedures
- C. How to Use this Code
- D. Definitions.

How To Use The PC Districts



Figure 27-103-1 How to Use the Code

(a) Intent & Applicability

(1) Intent. The regulations of the Perimeter Center districts are intended to further the goals of the Perimeter Center Overlay, as stated in 27-98.A Intent and Applicability.

(2) Applicability. These regulations apply a parallel set of zoning districts and regulations to lots within the limits of Perimeter Center as illustrated on the City's zoning map and Figure 27-104-1 Regulating Map. New development in these areas may be developed wholly utilizing the regulations of this division or wholly utilizing the regulations of the non-Perimeter Center specific, applicable zoning districts.

(b) Administration & Procedures**(1) Establishment of Perimeter Center Districts.**

Perimeter Center (PC) zoning district classifications may be applied to property **and PC district boundaries may be amended** only in accordance with the amendment procedures of article V, division 2.

(2) Effect of Establishment. Once property **has been classified in a Perimeter Center district**, the subject property is subject exclusively to the applicable Perimeter Center district regulations and any applicable overlay district regulations.

(3) Review and Approval Procedures. Unless otherwise expressly stated, all uses and development in Perimeter Center districts are subject to the applicable review and approval procedures of article V, **as well as any applicable procedures in chapter 16 of the municipal code (land development regulations)**.

(4) Site Plan Review. All applications for development permits within a Perimeter Center district must be accompanied by a site plan, which is subject to review and approval in accordance with article v, division 10.

(5) Relief. The Perimeter Center districts are intended to accommodate development as-of-right when such development occurs in strict conformance with applicable regulations. In some instances, however, unique site conditions, existing building circumstances or other constraints related to the subject property may make strict compliance impossible or highly impractical. In such instances, an applicant may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.

a. Minor Exception-Administrative Relief. The community development director is authorized to approve the following minor exceptions in accordance with the administrative permit procedures of article v, division 7:

1. The location of a building relative to any minimum setback requirement or build-to zone width/location, provided that location deviates from strict compliance by no more than **one five feet**;
2. An increase in total impervious coverage by no more than 10 percent, not to exceed the total amount of permitted impervious plus semi-pervious coverage;
3. A decrease in build-to zone coverage by no more than 10 percent;
4. A reduction **in the amount** of required Shopfront building **frontage** along Primary Streets, by no more than 10 percent;
5. Additional height of any **building** story by no more than 2 feet, provided that the overall building height does not exceed the allowable height of all floors at maximum permitted height;
6. An increase in the maximum permitted height of a retaining wall by up to **one five feet**; and
7. Any other minor exception expressly authorized under the Perimeter Center district regulations.

b. Major Exceptions-Special Land Use Permit.

Major exceptions to strict compliance with the Perimeter Center district regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-103(B)(5)

a. Major exceptions require review and approval in accordance with the special land use permit procedures of article v, division 3.

(c) How to Use this Code

Refer to Figure 27-103-1 for an overview of code use.

Definitions.

(d) Definitions.

For the purposes of Division 5: Perimeter Center Districts, the following terms shall have the following meanings. Refer to Article VII, Division 3 for additional definitions.

Build-to Zone. For the Perimeter Center area, the Build-to Zone is an area in which the facades of a building shall be placed. The zone dictates the minimum and maximum distance a structure may be placed from the edge of the frontage set by Street Type per the Perimeter Center Overlay. Refer to 27-105.C.1.b for explanation of Build-to Zones and illustrations of their use in the Perimeter Center districts.

Building Type. A structure defined by the combination of configuration, form, and function. Refer to 27-105 Building Types for more information and the list of permitted Building Types. Building Types are permitted by district. Refer to 27-104 Districts.

Building Type, Civic. Refer to 27-105.B.2.e. Civic Building Type.

Building Type, General. Refer to 27-105.B.2.b General Building Type.

Building Type, Shopfront. Refer to 27-105.B.2.a Shopfront Building Type.

Building Type, Townhouse. Refer to 27-105.B.2.c Townhouse Building Type.

Building Type, Yardhouse. Refer to 27-105.B.2.d Yardhouse Building Type.

Courtyard. An outdoor area enclosed by a building facade on at least 3 sides and open to the sky.

Expression Line. An architectural feature consisting of a decorative, three-dimensional, linear element, horizontal or vertical, protruding or indented at least 1.25 inches from the exterior facade of a building. It is typically utilized to delineate the top or bottom of floors or stories of a building.

Fenestration. For the purposes of the Perimeter Center districts, and in addition to the standard definition of the word, fenestration is the measurement of the percentage of a facade that has highly transparent, low reflectance windows. Mirrored glass is not permitted. Note: Current ordinance definition: "Fenestration means the arrangement, proportioning, and design of windows and doors in a building."

Frontage. Frontages require pedestrian and bicyclist accommodations required within the space between the building and the existing curb for all Street Types within the Perimeter Center districts. Street Types are designated by Figure 27-98-2 Street Types Map in the Perimeter Center Overlay. A variety of different

frontage options are defined per Street Type.

Interior Lot. Interior lot refers to any facade that does not face a street, faces the interior of the lot, or is located such that a parking lot is between the building and the street,

Main Parking Lot. A parking lot that contains more than 50 percent of the parking designated for a particular building.

Occupied Space. Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking, but includes hallways, stairwells, and elevators.

Open Space Type. The permitted and regulated types of open spaces in the Perimeter Center districts. Refer to 27-106 Open Space for more information and a list of the permitted open space types.

Open Water. A pond, lake, reservoir, or other water feature with the water surface fully exposed.

Parkway. See definition of "Street Type."

Pedestrianway. A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.

Porch. For the purposes of this code, a porch is a roofed, raised structure at the front entrance into the building, and a transition between the interior of the building and the sidewalk outside the building. Refer to Figure 27-103-3 Porch with Accessible Ramp.

Primary Street. See definition of "Street Type."

Roof Type. The detail at the top of a building that finishes a facade, including such types as a pitched roof with various permitted slopes and a parapet. Refer to 27-105.D.10 Roof Types for more information and a list of the permitted Roof Types.

Secondary Street. See definition of "Street Type."

Semi-pervious Lot Coverage. The percentage of a lot with semi-pervious surfaces installed. See "Semi-pervious Surface."



Figure 27-103-2 Porch with Accessible Ramp

Semi-pervious Surface. Also referred to as semi-pervious material. For the purposes of the Perimeter Center Districts, semi-pervious surface means either a material covering a surface that allows for at least 40 percent absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel, or a vegetated roof.

Stoop. A platform entranceway at the front door to a building, providing a transition between the interior of the building and the sidewalk outside the building. The stoop may be elevated or at grade, and may be covered by a canopy or awning. Refer to Figure 27-103-4 Stoop with Accessible Ramp.

Story, Ground. Also referred to as ground floor. The first floor of a building on any street facade that is level to or elevated above the finished grade on any street facade.

Story, Half. A story either in the basement of the building, partially below grade and partially above grade, or a story fully within the roof structure with fenestration facing the street.

Story, Upper. Also referred to as upper floor. All floors located above the ground story of a building. Upper stories may be half stories.

Street Facade. The facade of a building that faces a street right-of-way.

Street Type. Street Types are defined for all streets within the Perimeter Center area per 27-98.B within the Perimeter Center Overlay. Street Types include Major and Minor Parkways, Primary Streets, and Secondary Streets.

Transitional Buffer. The required landscape treatment along the side and/or rear property line of a site based on the adjacent district or use. Refer to 27-98.C

Transitional Buffers.

Vegetated Roof. For the purposes of the Perimeter Center districts, a vegetated roof is that portion of the roof of a building covered with vegetation and a growing medium, planted over a waterproofing membrane. It may also include additional layers such as a root barrier and drainage and irrigation systems.

Visible Basement. A half story or basement partially below grade and exposed above grade a minimum of one half the minimum floor-to-floor height. Visible basements must have required fenestration on the street facade.



Figure 27-103-3 Stoop with Accessible Ramp

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27-104 Districts

SECTIONS

- A. Establishment of Districts & Regulating Map
- B. PC-1 District
- C. PC-2 District
- D. PC-3 District
- E. PC-4 District
- F. Uses
- G. Measuring Height

(a) Districts & Regulating Map

(1) District Map. The Perimeter Center districts are designated in Figure 27-104-1 Regulating Map.

(2) District Requirements. The requirements in this subsection apply to the Perimeter Center districts as follows.

a. Requirements Specific to each District. Refer to 27-104.B through 27-104.E for specific descriptions and requirements for each district.

b. General Requirements for all Districts. Refer to 27- 104.F Uses through 27-104.G Measuring Height for requirements applicable to all districts.

(3) Street Types. Refer to section 27-98.B Street Types within the Perimeter Center Overlay for information on Street Types and street frontage requirements applicable to all Perimeter Center districts.

(4) Transitional Buffers. Refer to section 27-98.D Transitional Buffers within the Perimeter Center Overlay for information on buffer and screen requirements between different districts and uses.

(5) New Streets & Blocks. Refer to section 27-98.C Streets and Blocks within the Perimeter Center Overlay for information on new street design requirements and block configurations.

(6) Other Perimeter Center Overlay Requirements. Refer to sections 27-98.E General Building Design Requirements and 27-98.F Sustainability Measures within the Perimeter Center Overlay.

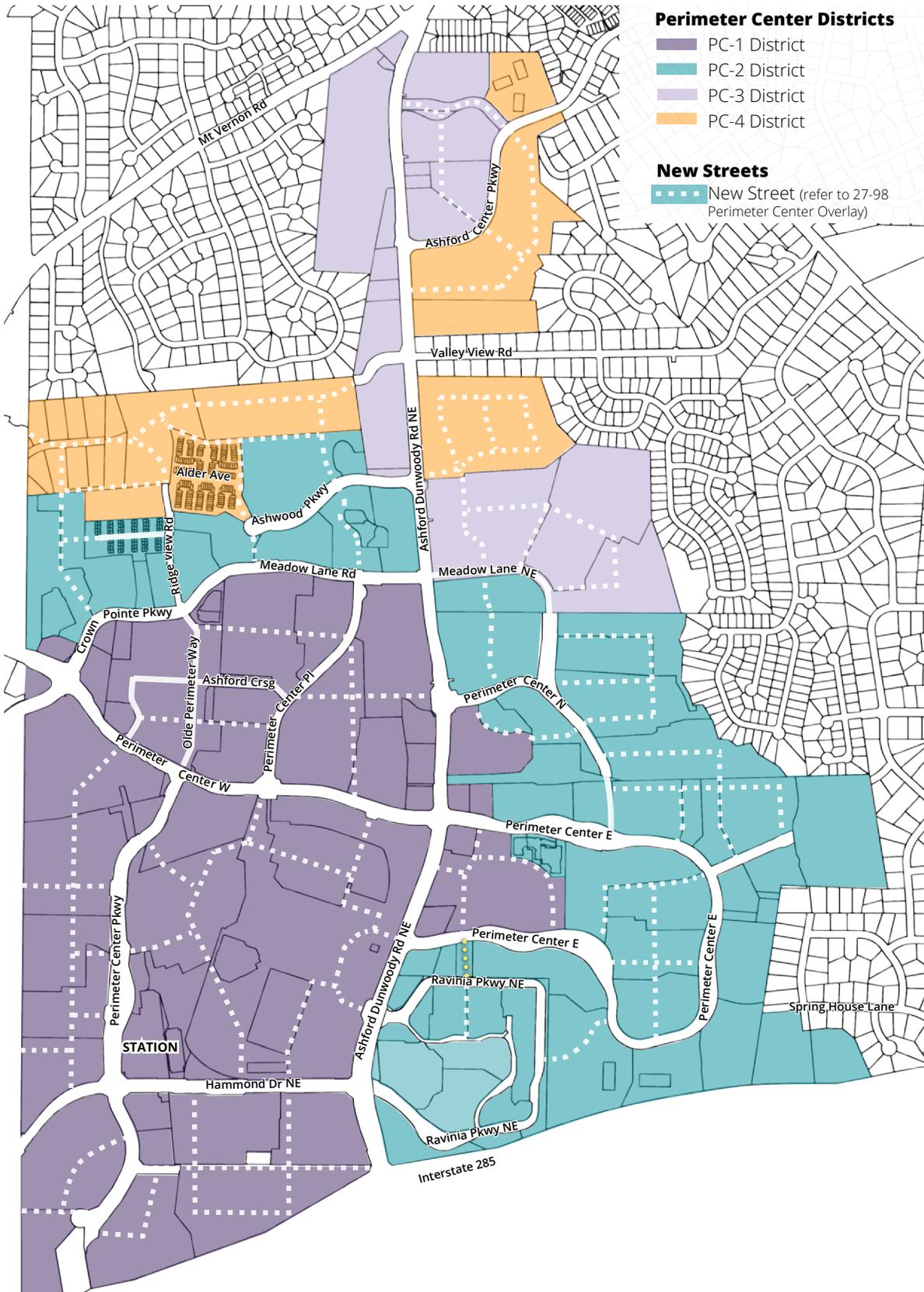


Figure 27-104-1 Regulating Map

(b) PC-1 District

Requirements for this district are provided in Figure 27-104-2 PC-1 District Requirements.

(1) Description & Intent. The PC-1 District is intended to apply to the central core area of Perimeter Center, including the area directly surrounding the Dunwoody MARTA train station. This district allows for the highest intensity of buildings, a high level of employment uses, and active ground story uses and design that support pedestrian mobility.

PC-1 DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	● Minimum 60% of the length of all Primary Street frontages shall be fronted with the Shopfront Building. Refer to 27-98-2 Street Type Map.	
	General	●	27-105 Building Types
	Townhouse		
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	For all developments over 3 acres in size, a minimum of 2 use categories shall be accommodated.	27-104.F Uses
HEIGHT	Minimum	3 stories for parcels larger than 3 acres	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	35 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum Block Perimeter	Maximum 2500 feet; Recommended maximum: 1800 feet	27-98.D Streets & Blocks
	Minor Parkway	●	
	Primary Street	●	27-98.B Street Types
	Secondary Street	●	
	Secondary Street Narrow		
SITE COVERAGE	Maximum Impervious Cover	80 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	95 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one permitted Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space Types
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
	Park	●	

● = permitted

Figure 27-104-2 PC-1 District Requirements

(c) PC-2 District

Requirements for this district are provided in Figure 27-104-3 PC-2 District Requirements.

(1) Description & Intent. The PC-2 District is made up primarily of employment uses [, residential buildings?,] and limited shopfront retail and services.

PC-2 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Permitted on Primary Street frontages only. Refer to 27-98.XX Street Type Map.	27-105 Building Types
	General	●	
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; single story buildings shall be 18 to 24 feet in height.	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	14 stories; within 500 feet of single-family residences, heights limited to 6 stories (see Overlay requirements for transitional buffers 27-98.B)	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Recommended 2000 feet; Maximum 2500 feet	27-98.D Streets & Blocks
	Minor Parkway	●	27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
Secondary Street Narrow			
SITE COVERAGE	Maximum Impervious Cover	65 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	75 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space Types
	Green	●	
	Commons	●	
Park	●		

● = permitted

Figure 27-104-3 PC-2 District Requirements

(d) PC-3 District

Requirements for this district are provided in Figure 27-104-4 PC-3 District Requirements.

(1) Description & Intent. The PC-3 District is a smaller scale less intensive commercial district, permitting both shopfront buildings and office buildings.

PC-3 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Minimum 80% of the length of all Primary Street frontages shall be fronted with Shopfronts Refer to 27-98.XX Street Type Map.	
	General	●	27-105 Building Types
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; single story buildings shall be 18 to 24 feet in height.	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	3 stories; heights up to 6 stories are permitted for no more than 50 percent of the building footprint. Height shall not exceed 3 stories within 500 feet of single-family residences	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2500 feet	27-98.D Streets & Blocks
	Minor Parkway	●	27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
Secondary Street Narrow			
SITE COVERAGE	Maximum Impervious Cover	75 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	85 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
Park	●		

● = permitted

Figure 27-104-4 PC-3 District Requirements

(e) PC-4 District

Requirements for this district are provided in Figure 27-104-5 PC-4 District Requirements.

(1) Description & Intent. The PC-4 District is made up primarily of residential uses at a scale that provides a transition between the intensity of Perimeter Center and the surrounding single-family residential neighborhoods.

PC-4 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront		27-105 Building Types
	General	○ Permitted only for Age-Restricted Buildings, Lodging, Quasi-Public & Institutional Uses	
	Townhouse	●	
	Yard House	●	
	Civic		
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story	27-105.B floor-to-floor heights per Building Type
	Maximum	3-4 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2200 feet	27-98.D Streets & Blocks
	Minor Parkway		27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
Secondary Street Narrow	●		
SITE COVERAGE	Maximum Impervious Cover	60 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	70 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza		27-106 Open Space
	Green	●	
	Commons	●	
Park	●		

● = permitted
○ = permitted under listed conditions

Figure 27-104-5 PC-4 District Requirements

(f) Uses

The following applies to all Perimeter Center districts.

(1) Use Table. The following apply to the uses outlined in this section. Refer to Figure 27-104-6 Table of Permitted Uses.

- a. Use Categories.** Refer to 27-111 through 27-116.
- b. Permitted and Special Uses.** Each use may be permitted as-of-right, permitted with an administrative permit, permitted as a special exception, or permitted with a special land use permit. Refer to 27-111(4) Use tables.
- c. Number of Uses.** A lot may contain more than one use.
- d. Principal and Accessory Uses.** Each of the uses may function as either a principal use or accessory use on a lot, unless otherwise specified.
- e. Building Type.** Each use shall be located within a permitted Building Type (Refer to 27-105 Building Types), unless otherwise specified.

(2) Use Sub-Categories. For the purposes of fulfilling the Use Mix requirements defined in each district table (refer to 27-104.B through 27-104.E), utilize the following sub-categories of uses, consisting of those uses listed in the table, right, that may contribute to the mix. Some permitted uses are not included.

a. Lodging & Residence Sub-Category

- Household Living
- Group Living
- Lodging

b. Civic Sub-Category

- Club or Lodge, Private
- Cultural Exhibit
- Educational Services
- Hospital
- Place of Worship

c. Office Sub-Category

- Construction and Building Sales and Service
- Medical Service
- Office or Consumer Service
- Research and Testing Services

d. Retail Sales Sub-Category

- Retail Sales
- Food and Beverage Retail Sales

e. Service Use Sub-Category

- Animal Services
- Day Care
- Repair or Laundry Services, Consumer
- Personal Improvement Services
- Eating and Drinking Establishments
- Financial Services
- Entertainment and Spectator Sports
- Sports and Recreation, Participant

USES	DISTRICTS				Reference
	PC-1	PC-2	PC-3	PC-4	
RESIDENTIAL					
Household Living					
Detached house	—	—	—	P	
Attached house	—	P	P	P	
Multi-unit building	—	—	—	—	
Age-Restricted Multi-unit building	—	—	—	P	
Group Living	—	S	S	S	
QUASI-PUBLIC & INSTITUTIONAL					
Ambulance Service	S	S	S	S	
Club or Lodge, Private	P	P	P	—	
Cultural Exhibit	P	P	P	P	
Day Care	P	P	P	P	
Educational Services	S	S	S	S	
Hospital	S	S	S	—	
Place of Worship	P	P	P	P	27-146
Utility Facility, Essential	P	P	P	E	27-151
COMMERCIAL					
Animal Services	P	P	S	—	27-131
Communication Services					
Telecommunications antenna mounted to building or similar structure	A	A	A	A	27-150
All other	P	P	P	P	
Standalone tower	S	S	S	S	
Construction and Building Sales and Services	P	P	P	—	
Eating and Drinking Establishments					
Restaurant, drive-in or drive-through (currently permitted in PC-1 District and PC-3 District)	P	—	P	—	27-98.E.17
Food truck	P	P	P	—	27-138
Other eating or drinking establishment	P	P	P	—	

USES	DISTRICTS				Reference
	PC-1	PC-2	PC-3	PC-4	
Entertainment and Spectator Sports					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Financial Services					
Banks, credit unions, brokerage and investment services	P	P	P	—	
Food and Beverage Retail Sales	P	P	P	—	
Funeral and Interment Services	P	P	P	—	
Lodging	P	P	P	S	
Medical Service	P	P	P	—	
Office or Consumer Service	P	P	P	—	
Parking, Non-accessory	S	S	S	S	27-98.E.16
Personal Improvement Service	P	P	P	—	
Repair or Laundry Service, Consumer	P	P	P	—	
Research and Testing Services	P	P	P	—	
Retail Sales	P	P	P	—	
Sports and Recreation, Participant					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Vehicle and Equipment, Sales and Service					
Gasoline sales	—	—	S	—	27-98.E.14
Vehicle sales and rental (Indoor only)	P	P	P	—	27-154
Vehicle repair, minor	—	—	S	—	27-153

P = use permitted as of right
A = special administrative permit required
E = special exception required
S = special land use permit required

Figure 27-104-6 Table of Permitted Uses

(g) Measuring Height

In the Perimeter Center districts, height is measured by the number of stories. Floor-to-floor height dimensions are provided by Building Type; and overall height can be calculated using these floor-to-floor dimensions.

(1) Minimum and Maximum Number of Stories.

Minimum and maximum heights are defined in stories for each district (refer to 27-104.B through 27-104.E).

- a. Minimum Number of Stories.** The building must meet the minimum required number of stories for the first 30 feet of depth of occupiable building space measured from the Primary Street or Parkway.
- b. Measuring Height in Stories.** Refer to Figure 27-104-7 Illustration of Stories.
 1. Half stories are located either fully within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
 2. A building incorporating both a half story within the roof and a visible basement shall count the height of the two half-stories as one full story.
 3. Floors within the building shall be visibly delineated on the street facades by the use of expression lines or the layout of the windows

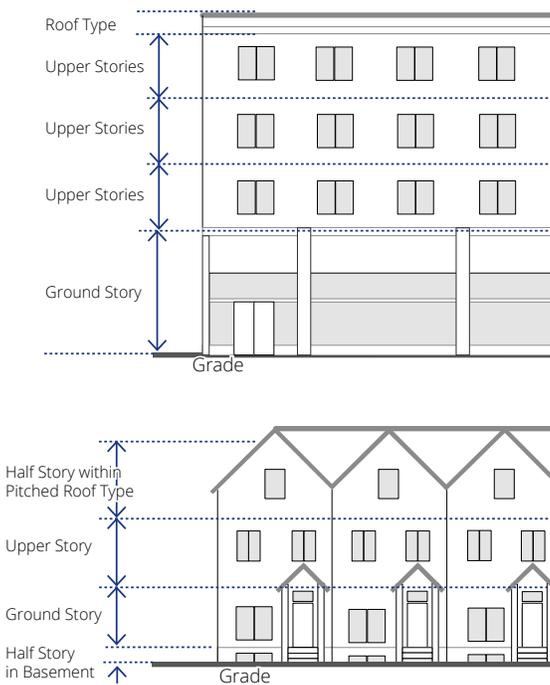


Figure 27-104-7 Illustration of Stories

- c. Roof Types.** Refer to 27-105.D.10 Roof Types for permitted roof types. Roof types extend above top the story and are additional dimension in height.

(2) Towers. (Refer to Figure 27-104-8). A tower is a three-dimensional vertical element, that extends above the top story a maximum of one full story above the permitted maximum height. Towers include such building elements as elevator towers, utility towers, decorative towers, and roof access towers.

- a. Quantity.** All Building Types, with the exception of the Civic Building, are limited to 2 towers per building.
- b. Tower Height.** Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one upper floor of the building to which the tower is applied.
- c. Tower Width.** Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less. Minimum width is 8 feet.
- d. Horizontal Expression Lines.** An expression line shall define the tower from the upper stories, except on Yard or Townhouse Building Types.
- e. Occupied Space.** Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.
- f. Tower Cap.** The tower may be capped by the parapet, pitched, low pitched, or flat roof types, or the spire may cap the tower. Refer to 27-105.D.10 Roof Types.

(3) Tall Building Design. (Refer to 27-105.D.4). Refer to Tall Building Design in 27-105 Building Types for design parameters for buildings over 12 stories.

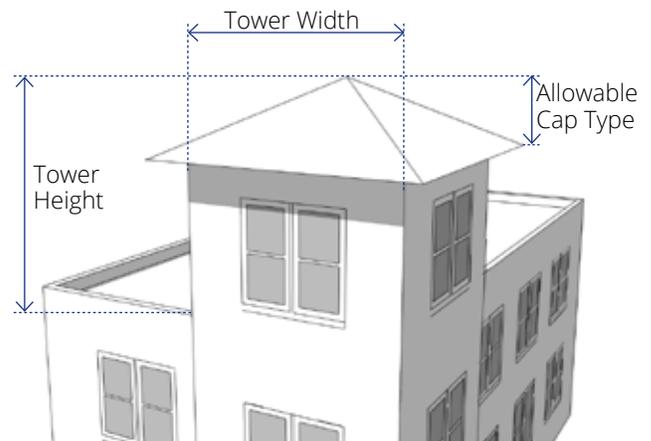


Figure 27-104-8 Tower Extending above Top Story.

27-105 Building Types

SECTIONS

- A. General Requirements
- B. Regulations Specific to Building Types
- C. Explanation of Specific Building Type Requirements
- D. General Building Design Requirements.

27-105 Building Types

General Requirements

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(a) General Requirements

The Building Types detailed in this section outline the required building forms for new construction and renovated structures within the Perimeter Center districts defined in 27-104 Districts.

(1) Applicability. The requirements of this section apply to all new development and significant renovations, defined in XXX [will be addressed with process]. All structures must meet the requirements of one of the Building Types permitted within the Zoning District.

(2) Districts, Building Types, and Street Types. For each lot, a designated Perimeter Center district is found on the Regulating Map, Figure 27-104-1.

- a. District.** Each district, per 27-104 Districts, has a set of requirements related to streets, open space, uses, and permitted Building Types.
- b. Building Types.** Each Building Type, as established in this section 27-105, has a set of requirements, including requirements related to the facades facing different Street Types.
- c. Street Types.** Street Types, per section 27-98.B Street Types of the Perimeter Center Overlay, include frontage requirements for the space between the build-to zone of the Building Type and the curb of the street.

(3) Uses. Uses are permitted by District, per 27-104.F Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Some

Building Types have additional limitations on permitted uses as located within the building.

(4) General Building Design Requirements. Refer to section 27-98.E General Building Design Requirements within the Perimeter Center Overlay for information on building design requirements additional to and applicable to all Building Types.

(5) Multiple Principal Structures. Multiple structures are permitted on all lots in the Perimeter Center districts. All structures shall meet the requirements of one of the permitted Building Types for the district.

(6) Permanent Structures. All buildings constructed shall be permanent construction, unless otherwise noted.

(7) Other Structures. Utility structures and towers permitted in the district are exempted from the Building Type standards.

(8) Build to the Corner. The corner of the lot is defined as the intersection of the two build-to zones of each street. Refer to Figure 27-105-2 Corner and Build to Zones on Different Street Types.

a. Corners at Primary Street and Parkways.

Buildings shall be built up to the corner, occupying the intersection of the two build-to zones of any intersection of two Primary Streets, a Primary Street at any Parkway, or two Parkways. Courtyards shall not be located in this area.

b. Corners involving Secondary Streets. Buildings should be built to the corner, occupying the

BUILDING TYPES BY DISTRICT					
DISTRICT	BUILDING TYPES				
	Shopfront	General Building	Townhouse	Yardhouse	Civic Building
PC-1 District	●	●			●
PC-2 District	●	●	●		●
PC-3 District	●	●	●		●
PC-4 District		●	●	●	

● = Permitted

Figure 27-105-1 Permitted Building Types by District

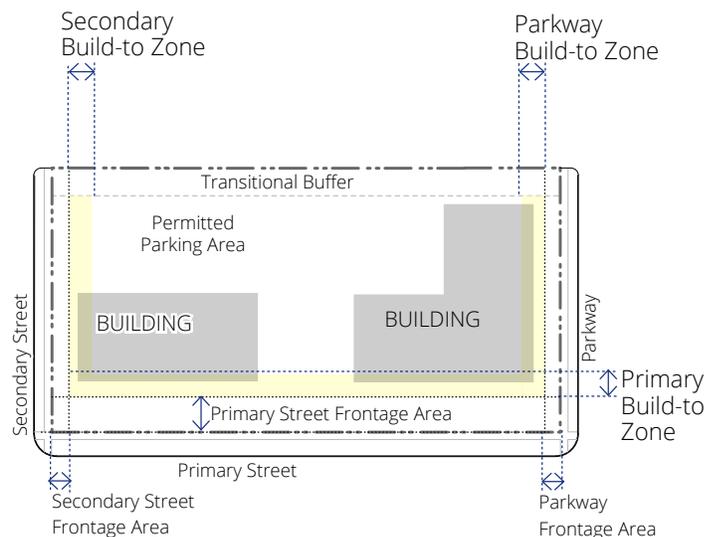


Figure 27-105-2 Corner and Build-to Zones on Different Street Types

intersection of the two build-to zones of any intersection involving a Secondary Street. Courtyards should not be located in this area.

(9) Treatment of Build-to Zones & Transitional Buffers. Refer to 27-103.D Definitions for definition of build-to zones and setbacks.

- a. Landscape Areas.** All build-to zones and setbacks shall only contain courtyards (as permitted by Street Type frontage), plazas (as permitted by Street Type frontage), patios (as permitted by Street Type frontage), sidewalk or trail extensions, buffers, and/or landscape yards, unless otherwise specifically noted.
- b. Surface Parking.** Surface parking lot yard location is determined by Building Type. Refer to 27-105.B Regulations Specific to Building Type.
- c. Driveways.** Driveways may cross perpendicularly through build-to zones and setbacks, when permitted per 27-105.A.10 Driveways, below, or to connect to a parking lot on an abutting lots.

(10) Driveways. Location of vehicular driveway access is based on the Major or Minor Parkway, Primary Street, and Secondary Street designations in Figure 27-98-2 Street Types Map per the hierarchy as follows. Refer to Figure 27-105-3 Driveway Locations by Street Type.

- a. Alleys or Lanes.** Access from an adjacent alley or lane is unlimited. Construction of new private

or public alleys through blocks is encouraged. Minimum pavement width is 20 feet and maximum pavement width is 28 feet.

- b. Secondary Street Access.** If no alley exists, one drive entrance per 400 linear feet of street frontage or 2 total drive entrances, whichever is greater, are permitted from each Secondary Street.
- c. Primary Street.** If no alley or Secondary Street exists, one access point is permitted off each Primary Street.
 - 1. **Side Parking off Primary Street.** When side parking with the drive located perpendicular to the street centerline, is utilized as permitted by the Building Type, one driveway is permitted off the Primary Street. This driveway counts towards entrances permitted by 27-105.A.10.c above. The sidewalk paving shall extend across the driveway, signaling priority to the pedestrian.
- d. Parkway.** If no alley, Secondary Street, or Primary Street exists, existing driveways may be utilized off Parkways. New driveways off Parkways are permitted only if no other option exists and a minor exception is granted by Public Works Director .
- e. Shared Driveways.** Shared driveways are required by adjacent developments originally in single ownership and encouraged for all other adjacent developments.
- f. Inter-Lot Drives.** When two or more parking lots are located adjacent to each other and each lot contains the same Building Type, the parking lots shall be connected with a drive perpendicularly crossing the transitional buffer.
- g. Pedestrian Facilities.** At-grade, designated pedestrian routes, including sidewalks and crosswalks, shall be supplied connecting each parking area to either the Primary sidewalk (and front entrance) or a rear public entrance.
 - 1. Crosswalks shall include pavers or colored concrete pavement across driveways.
 - 2. Vehicular areas, such as driveways, parking drive lanes, loading lanes, bike lanes/facilities, and parking areas, shall not be utilized as designated pedestrian routes.
- h. Driveway Width.** Driveways shall be no greater than 22 feet in width at the right-of-way line.

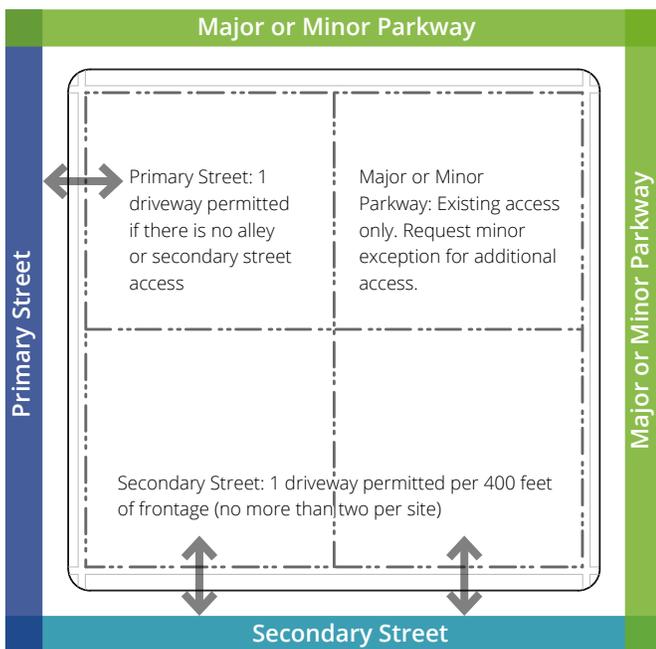


Figure 27-105-3 Driveway Locations by Street Type

27-105 Building Types

General Requirements

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Driveways wider than 22 feet shall include landscaped, pedestrian refuge islands with a walk area to reduce the crossing to no more than 22 feet.

- i. Loading Facilities.** Loading facilities for all Building Types in all Perimeter Center districts shall be located as follows:
1. Loading facilities shall not face Primary Streets.
 2. Preferred location for loading facilities is on the interior of the lot, not visible from any streets.
 3. Loading facilities visible from a Parkway or Secondary Street shall be screened from the sidewalk by a fence/wall or a combination of fence/wall and landscape screening.
 - i. Fence/Wall. Fences and walls shall be no taller than 6 feet and shall have a minimum overall opacity of 80 percent. Materials shall meet the requirements of 27-98.E.3a. in the Perimeter Center Overlay.
 - ii. Landscape. Tree canopies shall be used to screen above the 6 foot wall or fence. ~~and to fulfill any Street Type frontage requirements.~~
 - iii. Shrubs and Hedges. Shrubs and hedges may be utilized to fulfill no more than one third of the screening, as measured along the screen length. A double row of 5 gallon shrubs, with mature height of a minimum 6 feet, is required.

(b) Regulations Specific to Building Types

(1) Building Type Descriptions & Intentions

- a. Shopfront Building.** The Shopfront Building is intended for use as a mixed use building located close to the sidewalk with parking typically in the rear or side of the lot.

The most distinctive element of this Building Type is the ground floor front facade with large amounts of storefront glass and regularly spaced entrances, typically for retail and service uses.

- b. General Building.** The General Building is intended to be built close to the sidewalk, but may also allow for a landscape yard and drop off drives. This building can be structured to house offices or residential uses, and may have limited amounts of accessory retail and service uses in the ground floor.

Parking is typically provided in structures at the rear of the lot, internally in the rear of the building, but may also have limited surface parking along the side of the building.

- c. Townhouse Building.** The Townhouse Building is a building typically comprised of several multi-story single-family units, located adjacent to each other, each with its own entrance to the street.

Parking is required to be located in the rear, either incorporated into a detached garage or in an attached garaged accessed from the rear of the building.

- d. Yardhouse Building.** The Yardhouse Building is a building surrounded by landscape yard, with an entrance facing the street, and typically housing single family uses.

Parking is required to be located in the rear, either incorporated into a detached garage or in an attached garaged accessed from the rear of the building.

- e. Civic Building Description.** The Civic Building is the most flexible Building Type limited to civic and institutional types of uses.

These buildings are distinctive within the urban fabric created by the other Building Types and could be designed as iconic structures.

(2) Building Type Regulations

The following defines and illustrates the regulations for each Building Type.

a. SHOPFRONT BUILDING REGULATIONS.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT
BUILDING SITING Refer to Figure 27-105-4 Shopfront Building: Building Siting and 27-105.C.1 Building Siting			
Along Primary Street Frontage Edge			
1 Minimum Build-to Zone Coverage	90%	80%	80%
2 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 10'	0' to 15'	0' to 15'
3 Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.C.1.c.i Side Parking	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)	
Along Parkway Frontage Edge			
4 Minimum Build-to Zone Coverage	60%	30%	30%
5 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 15'	0' to 15'	0' to 15'
6 Parking along Frontage	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)		
Along Secondary Street Frontage Edge			
7 Minimum Build-to Zone Coverage	30%	none required	none required
8 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 30'	0' to 50'	0' to 50'
9 Parking along Frontage	permitted	permitted	permitted
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-5 Shopfront Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height			
10 Ground Story: Minimum Height Maximum Height		14' 30' ¹	14' 24' ¹
11 Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
12 Ground Story Elevation	0' to 1' above adjacent sidewalk; visible basement not permitted (refer to 27-98.E.9 Ground Story at Sloping Facades stepping facades at sloped sidewalks)		
USES Refer to Figure 27-105-5 Shopfront Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses			
13 Ground Story	any retail subcategory, service subcategory, lobbies for lodging (refer to 27-104.F Uses) permitted in the district		
14 Upper Story	any use permitted in the district		
15 Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
16 Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories		
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-6 Shopfront Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements			
17 Ground Story Fenestration Measured between 2' and 10' above grade	75% minimum	60% minimum	60% minimum
18 Entry Area	recessed between 3' and 8' from the facade closest to the street		
19 Entrance Elevation	within 2' of average grade at the sidewalk		
20 Required Number of Primary Street Entrances	1 per each 75' width of front facade		
21 Ground Story Vertical Facade Divisions	every 30' of facade width		
22 Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor		

Notes

³ If 18 feet or more in height, ground story shall count as 2 stories towards maximum building height.

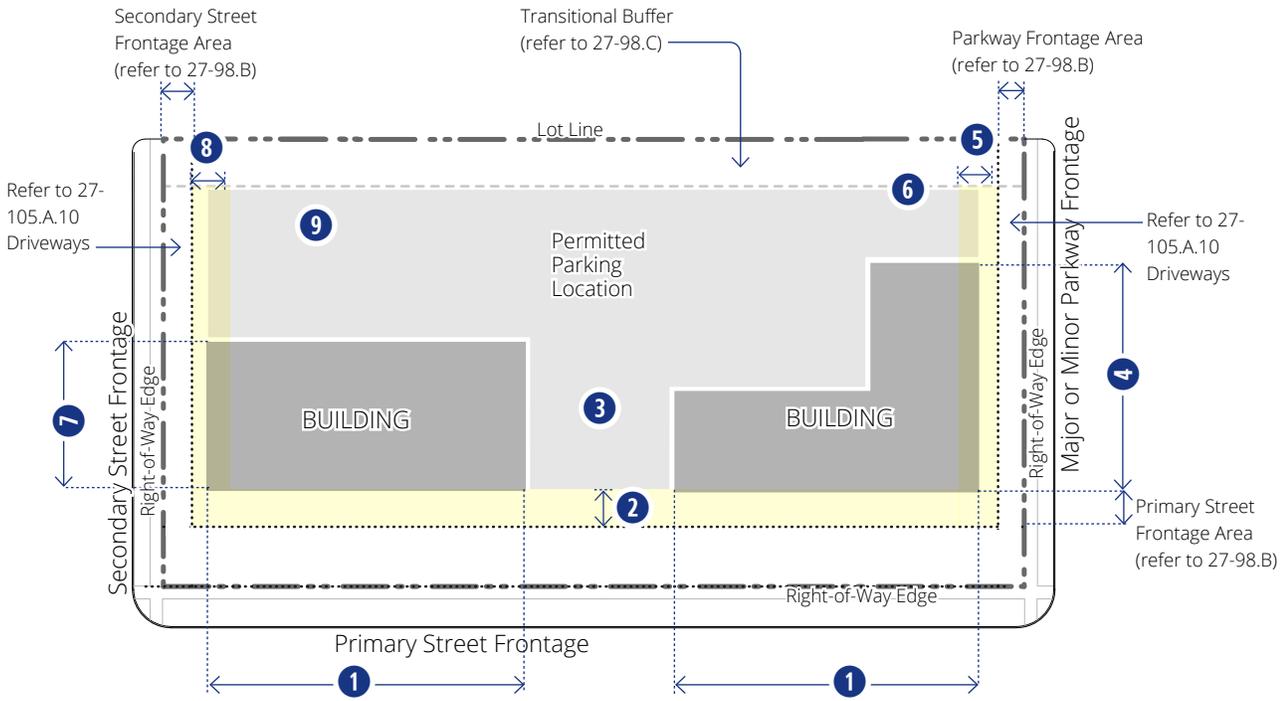


Figure 27-105-4 Shopfront Building: Building Siting

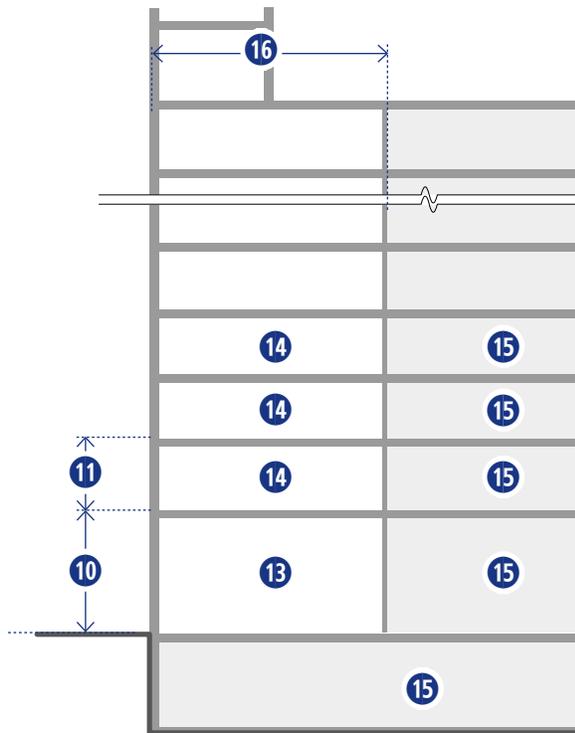


Figure 27-105-5 Shopfront Building: Floor-to-Floor Height & Use Requirements

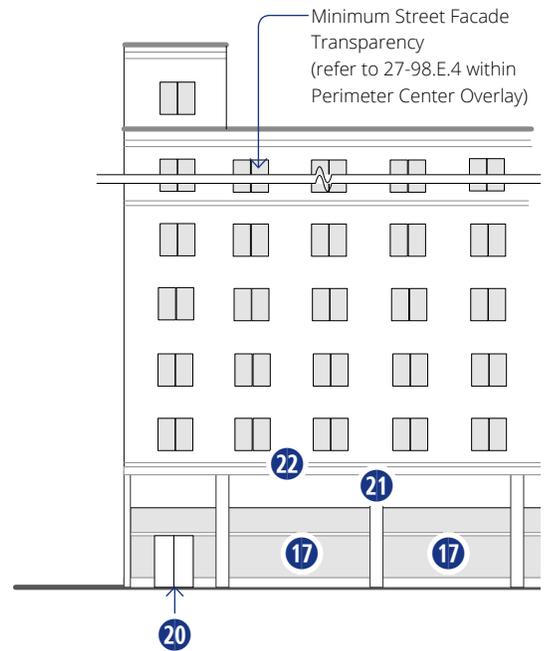


Figure 27-105-6 Shopfront Building: Street Facade Design Requirements

b. GENERAL BUILDING REGULATIONS.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING Refer to Figure 27-105-7 General Building: Building Siting and 27-105.C.1 Building Siting				
Along Primary Street Frontage Edge				
1 Minimum Build-to Zone Coverage	80%	50%	60%	60%
2 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	5' to 20'	10' to 30'	5' to 15'	15' to 30'
3 Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.C.1.c.i Side Parking	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)		not permitted
Along Parkway Frontage Edge				
4 Minimum Build-to Zone Coverage	60%	50%	50%	50%
5 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	5' to 20'	10' to 30'	15' to 50'	15' to 30'
6 Parking along Frontage	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)			
Along Secondary Street Frontage Edge				
7 Minimum Build-to Zone Coverage	30%	none required		
8 Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	10' to 50'	10' to 50'	15' to 50'	15' to 50'
9 Parking along Frontage	permitted	permitted	permitted	permitted
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-8 General Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height				
10 Ground Story: Minimum Height Maximum Height	14' 30' ¹	14' 24' ¹	14' 24' ¹	10' 18' ¹
11 Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'	9' 14'
12 Ground Story Elevation	maximum of 2'-6" above the sidewalk without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.			
USES Refer to Figure 27-105-8 General Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses				
13 Ground Story	office category; retail sales and service uses limited to 25% of gross ground floor area			limited to certain uses per 27-104.E
14 Upper Story	any permitted use			limited to certain uses per 27-104.E
15 Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade			
16 Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories			
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-9 General Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements				
17 Ground Story Fenestration Measured between 2' and 10' above grade	20% minimum	20% minimum	20% minimum	20% minimum
18 Entry Area	recessed minimum 3' from the facade closest to the street			
20 Required Number of Primary Street Entrances	1 per each 150' of front facade			
21 Ground Story Vertical Facade Divisions	every 150' of facade width			
22 Horizontal Facade Divisions	required within 3' of the top of the ground story, the top of the visible basement, and any 5th floor above the 1st floor			

Notes

¹ If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

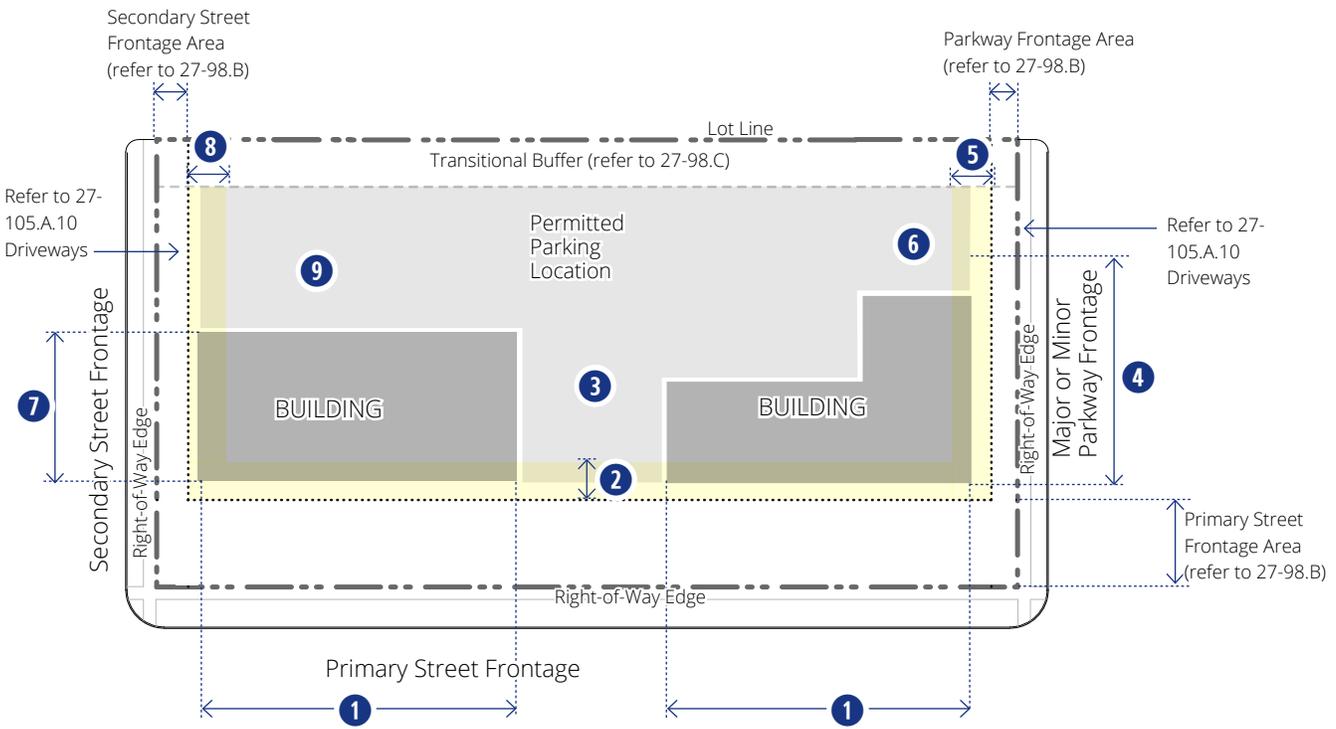


Figure 27-105-7 General Building: Building Siting

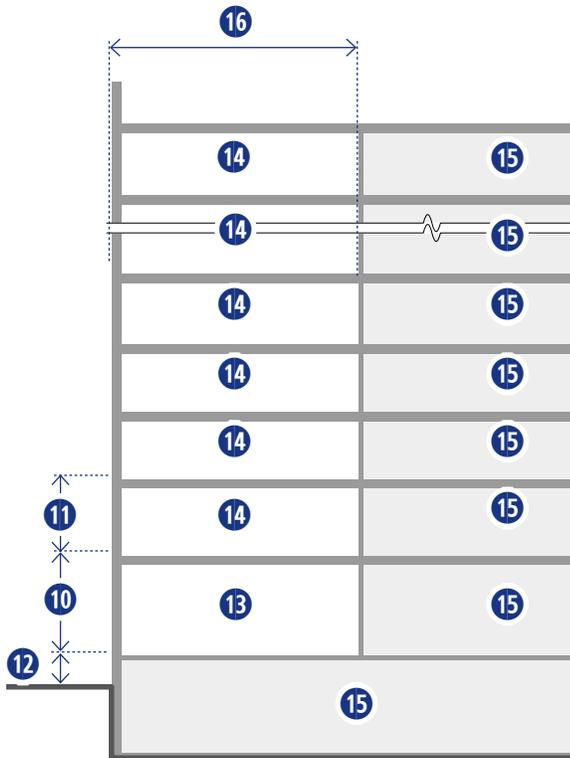


Figure 27-105-8 General Building: Floor-to-Floor Height & Use Requirements

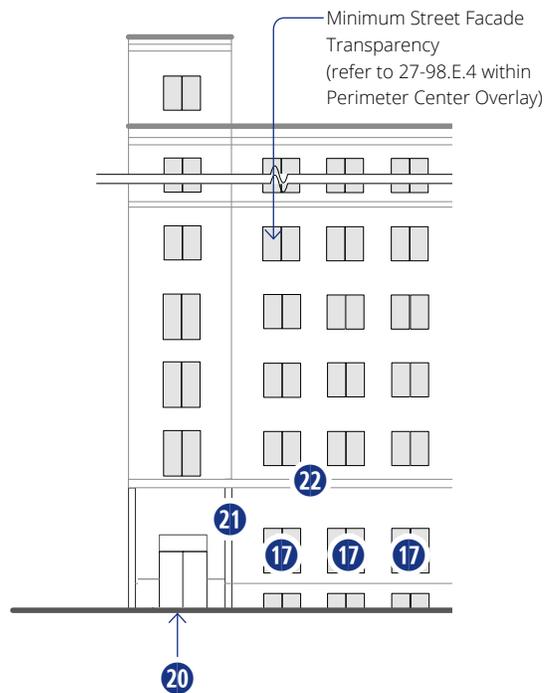


Figure 27-105-9 General Building: Street Facade Design Requirements

c. TOWNHOUSE BUILDING REGULATIONS.

	PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING Refer to Figure 27-105-10 Townhouse Building: Building Siting and 27-105.C.1 Building Siting			
Along Primary Street Frontage Edge			
1	Minimum Build-to Zone Coverage ²	65%	65%
2	Build-to Zone ² (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	10' to 30'	15' to 30'
3	Parking along Frontage	not permitted	not permitted
Along Parkway Frontage Edge			
4	Minimum Build-to Zone Coverage ²	50%	50%
5	Build-to Zone ² (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	25' to 50'	25' to 50'
6	Parking along Frontage	permitted	
Along Secondary Street Frontage Edge			
7	Minimum Build-to Zone Coverage	none required	
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'	15'
9	Parking along Frontage	permitted	
FLOOR-TO-FLOOR HEIGHT ³ Refer to Figure 27-105-11 Townhouse Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height			
10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	9' 14'	9' 14'
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.	
USES Refer to Figure 27-105-11 Townhouse Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses			
13	All Stories	attached house only (allow live-work units?)	attached house only
14	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade	
15	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories	
STREET & COURTYARD FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-12 Townhouse Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements			
16	Ground Story Fenestration	15% minimum	15% minimum
17	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.	
19	Required Number of Street Entrances	1 per unit ²	1 per unit ²
20	Ground Story Vertical Facade Divisions	every 30' of facade width	
21	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor	

Notes

¹ For the purposes of the Townhouse building, a building consists of multiple units; minimum of 3 and maximum of 8 units.

² Each unit shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

³ A Townhouse building shall be a minimum of 2 stories and a maximum of 4 stories, independent of the district requirements.

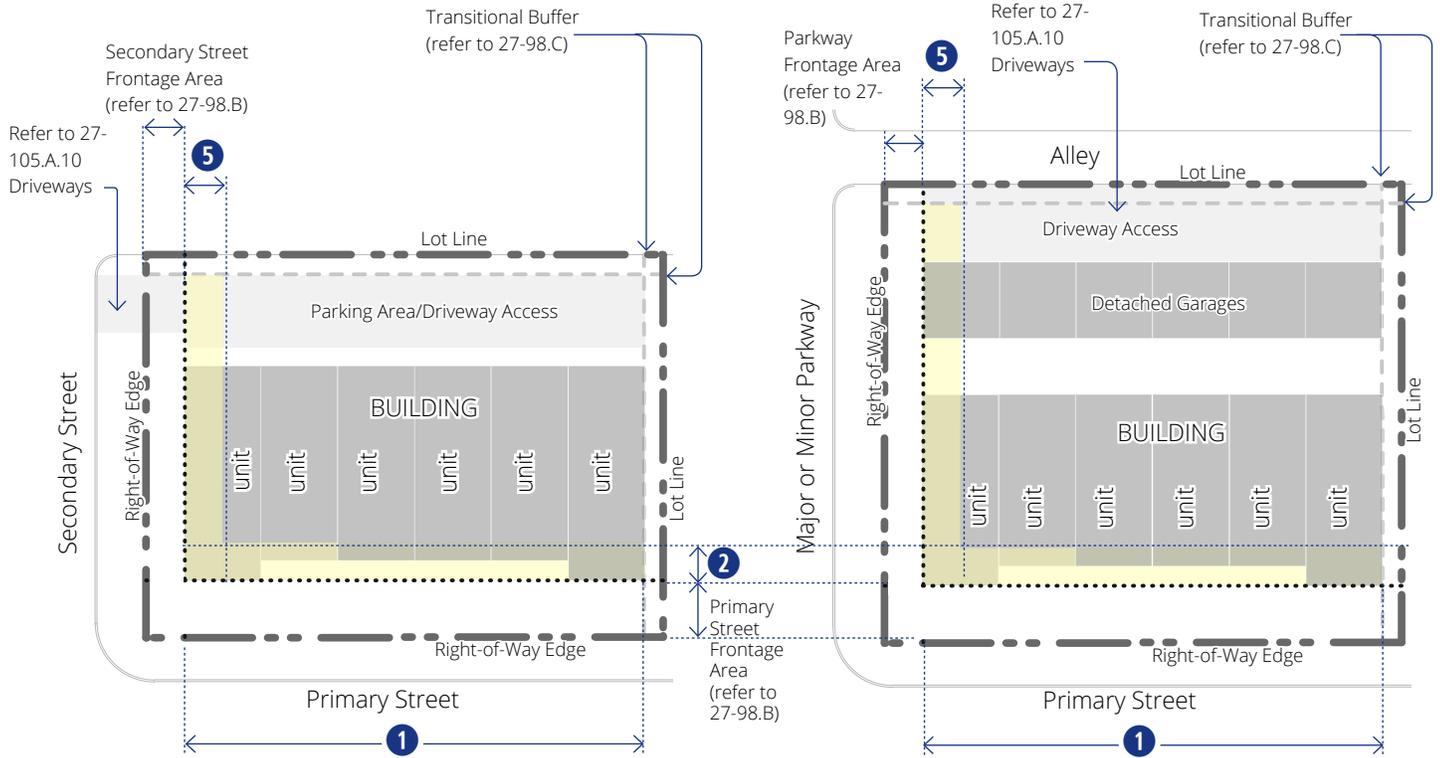


Figure 27-105-10 Townhouse Building: Building Siting

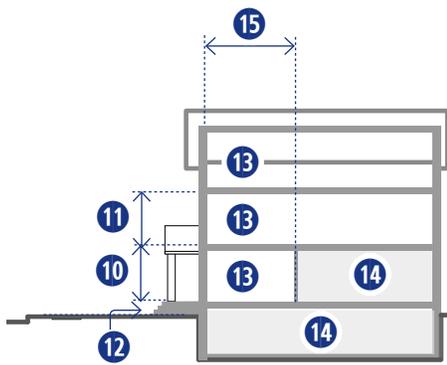


Figure 27-105-11 Townhouse Building: Floor-to-Floor Height & Use Requirements

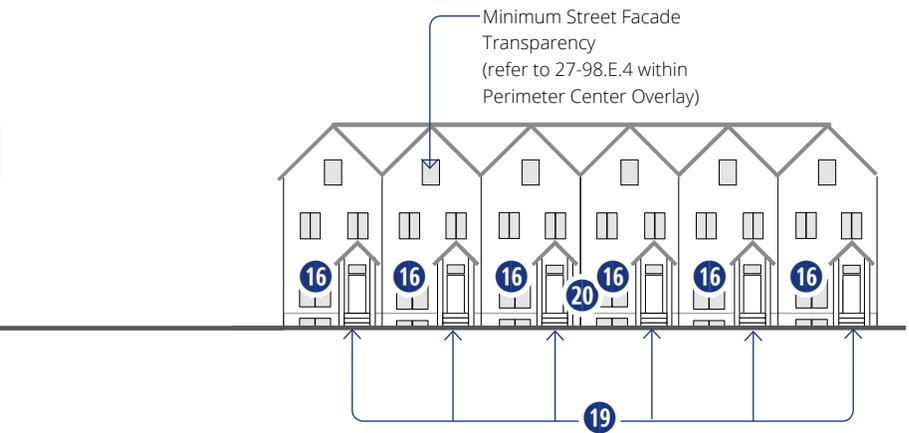


Figure 27-105-12 Townhouse Building: Street Facade Design Requirements

d. YARDHOUSE BUILDING REGULATIONS.

PC-4 DISTRICT

BUILDING SITING Refer to Figure 27-105-13 Yardhouse Building: Building Siting and 27-105.C.1 Building Siting

Along Primary Street Frontage Edge		
1	Minimum Build-to Zone Coverage ¹	65%
2	Build-to Zone ¹ (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15' to 30'
3	Parking along Frontage	not permitted
Along Parkway Frontage Edge		
4	Minimum Build-to Zone Coverage ¹	50%
5	Build-to Zone ¹ (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	25' to 50'
6	Parking along Frontage	permitted; alley access is preferred
Along Secondary Street Frontage Edge		
7	Minimum Build-to Zone Coverage	none required
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'
9	Parking along Frontage	permitted; alley access is preferred

FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-14 Yardhouse Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height

10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	9' 14'
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.

USES Refer to Figure 27-105-14 Yardhouse Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses

13	All Stories	household living
14	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade
15	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories

STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-15 Yardhouse Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements

16	Ground Story Fenestration Measured between 2' and 10' above grade	15% minimum
17	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.
19	Required Number of Street Entrances	1 per unit ¹
20	Ground Story Vertical Facade Divisions	every 30' of facade width
21	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor

Notes

¹ Each building shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

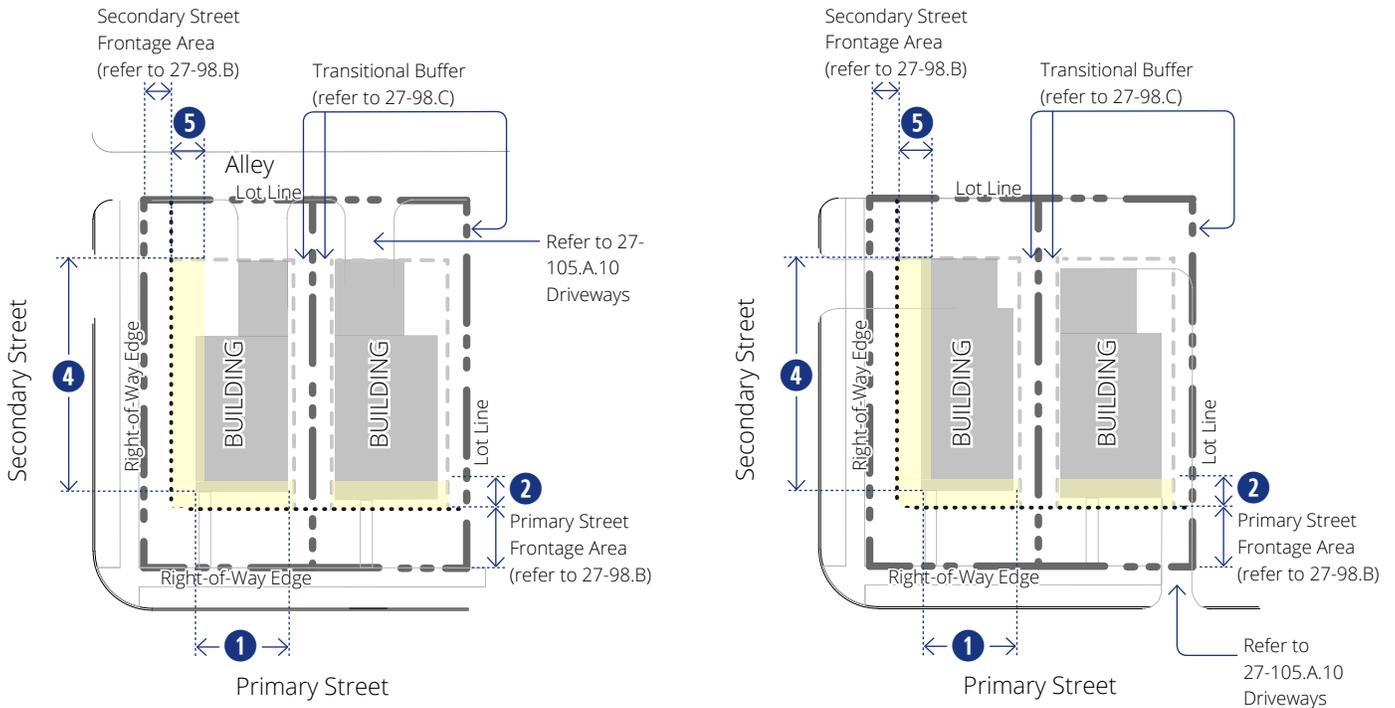


Figure 27-105-13 Yardhouse Building: Building Siting

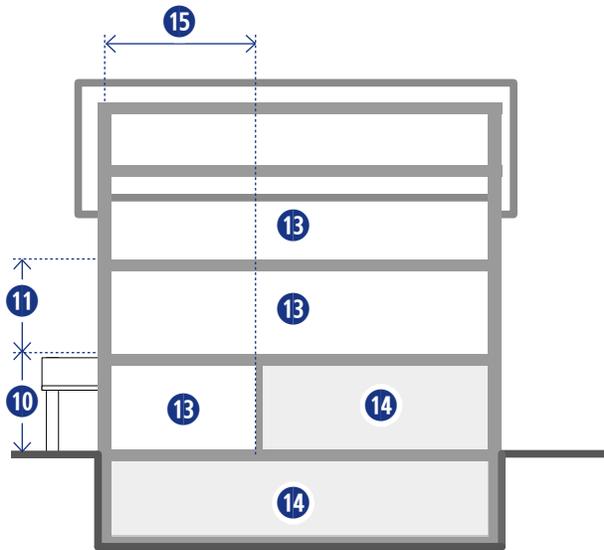


Figure 27-105-14 Yardhouse Building: Floor-to-Floor Height & Use Requirements

Minimum Street Facade Transparency (refer to 27-98.E.4 within Perimeter Center Overlay)

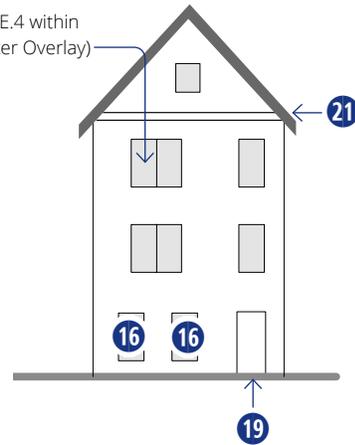


Figure 27-105-15 Yardhouse Building: Street Facade Design Requirements

e. CIVIC BUILDING REGULATIONS.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT
BUILDING SITING Refer to Figure 27-105-16 Civic Building: Building Siting and 27-105.C.1 Building Siting			
Along Primary Street Frontage Edge			
1	Minimum Build-to Zone Coverage	n/a	
2	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'	
3	Parking along Frontage	maximum of one double-loaded aisle, perpendicular to street	
Along Parkway Frontage Edge			
4	Minimum Build-to Zone Coverage	n/a	
5	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'	
6	Parking along Frontage	Permitted	
Along Secondary Street Frontage Edge			
7	Minimum Build-to Zone Coverage	n/a	
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'	
9	Parking along Frontage	Permitted	
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-17 Civic Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height			
10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	14' 30'	
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'	
USES Refer to Figure 27-105-17 Civic Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses			
12	All Stories	Limited to civic subcategory of uses	
13	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade	
14	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories	
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-18 Civic Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements			
15	Ground Story Fenestration Measured between 2' and 10' above grade	20% minimum	
16	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.	
17	Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.	
18	Required Number of Primary Street Entrances	one	
19	Ground Story Vertical Facade Divisions	none required	
20	Horizontal Facade Divisions	none required	

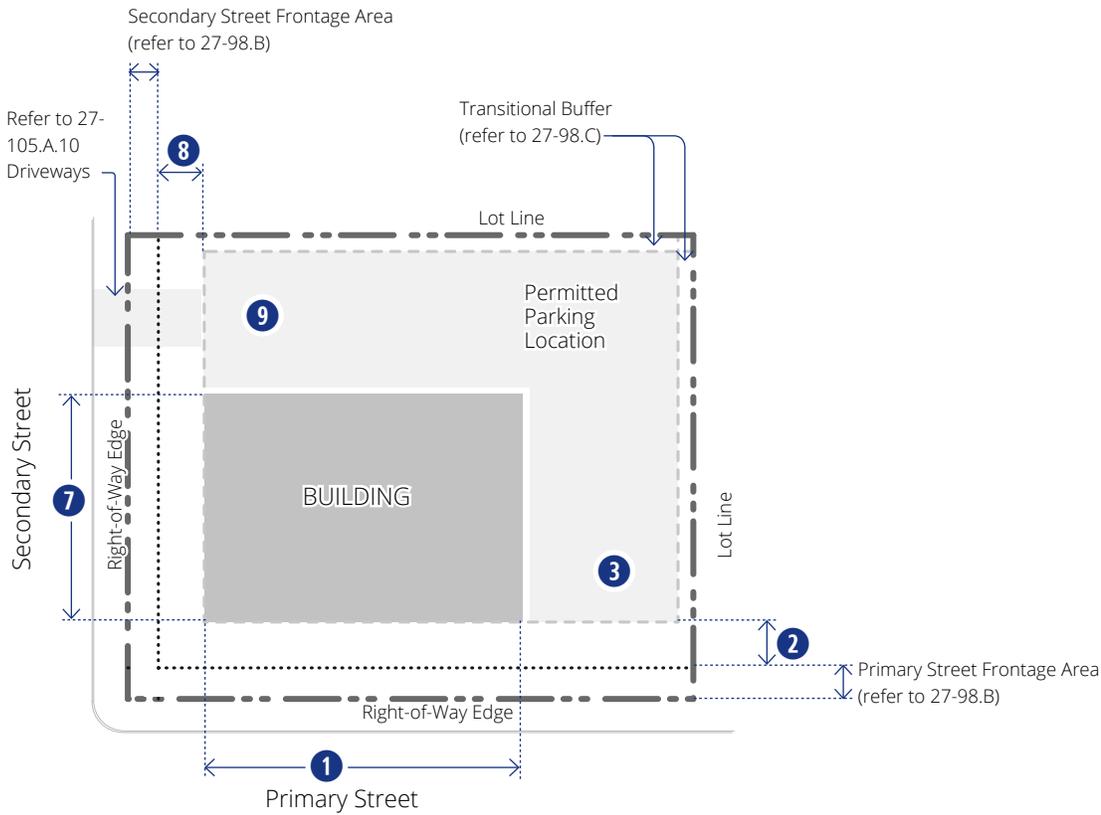


Figure 27-105-16 Civic Building: Building Siting

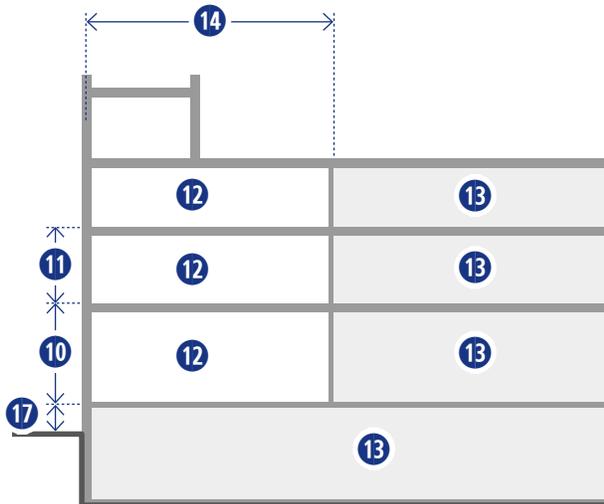


Figure 27-105-17 Civic Building: Floor-to-Floor Height & Use Requirements

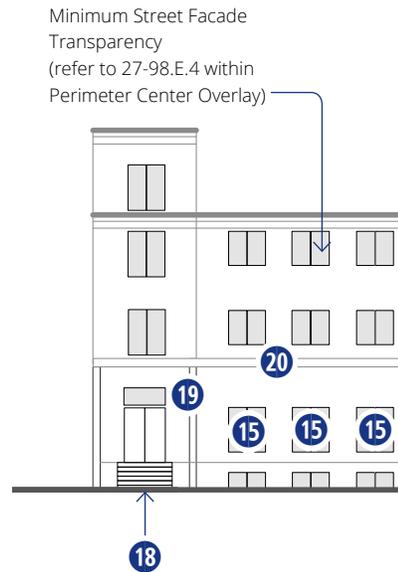


Figure 27-105-18 Civic Building: Street Facade Design Requirements

27-105 Building Types

Explanation of Specific Building Type Requirements

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(c) Explanation of Specific Building Type Requirements

The following explains and further defines the standards outlined on the tables on the previous pages, specific to each Building Type, refer to 27-105-B.2.a through 27-105-B.2.e.

(1) Building Siting by Street Types.

The following explains the line item requirements for each Building Type Table within the section entitled "Building Siting."

For each Building Type, requirements are defined for each Street Type frontage that may occur surrounding the site. Refer to Figure 27-98-2 Street Types Map for the type defined for each street in the Perimeter Center area. Each Street Type is defined with frontage options in 27-98.B Street Types, including the Major and Minor Parkway, Primary Street, and the Secondary Street.

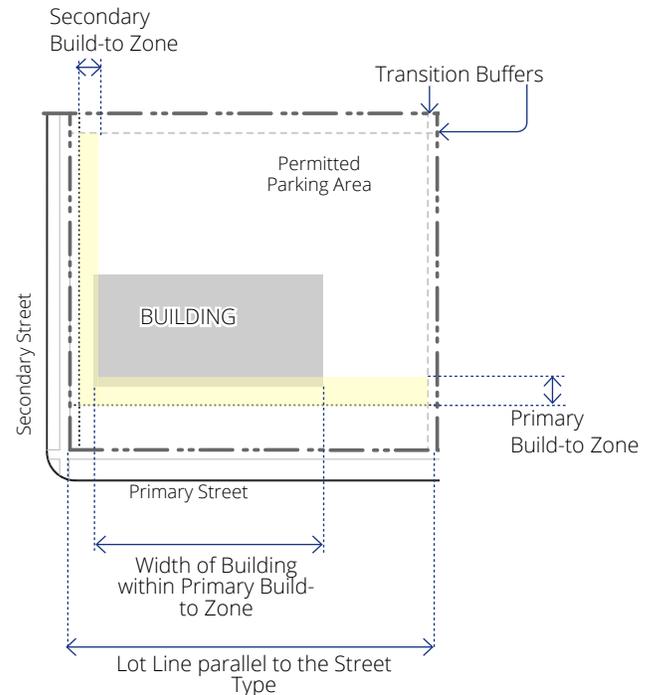
a. Building Coverage. The minimum percentage of street wall or building facade along the street for each Street Type (Parkway, Primary Street, Secondary Street per Figure 27-98-2 Street Types Map) is designated on each Building Type table. Refer to 27-105-B.2.a through 27-105-B.2.e.

1. **Measurement.** The width of the principal structures (as measured within the build-to zone along the frontage edge) is divided by the length of the frontage parallel to the property line following the street. Refer to Figure 27-105-20 Minimum Building Coverage.

2. **Courtyards.** Courtyards, per 27-103.D Definitions, located along the facade in the build-to zone count towards the minimum coverage. Refer to Street Types for limitations of Courtyards along some frontages.

b. Build-to Zone. The build-to zone is designated separately for each Street Type frontage on each Building Type table. Refer to Figure 27-105-2 Build-to Zones and Figure 27-98-2 Street Types Map.

- Measurement.** The build-to zone for all districts and Street Type frontages is measured from the edge of the Street Type frontage area onto the site, along the frontage edge. Refer to Figure 27-105-21 Location of Build-to Zone in relation to Frontage.
- Encroachments.** Awnings and building mounted signage may extend beyond the build-to zone into the frontage area, but may not extend into the street right-of-way.
- Arcades, Galleries.** Arcades and galleries may be included on the building facade design, utilizing the range of depth permitted



$$\frac{\text{Width of Building within Build-to Zone}}{\text{Lot Line parallel to the Street Type}} = \text{Building Coverage}$$

Figure 27-105-19 Minimum Building Coverage

by the build-to zone. If located outside the building coverage requirement, the depth of the arcade or gallery may exceed the build-to zone. Refer to 27-105.D.8 Arcade Design.

c. Parking along Frontage. Parking is permitted behind any buildings on the site, but is only permitted exposed along a frontage if designated on the table of requirements for each Building Type.

- 1. Side Parking.** Where noted, side parking along a Primary Street may be permitted with a maximum of one double loaded aisle of parking perpendicular to the street centerline and with a maximum width of 72 feet. Refer to the Street Type frontage

parking edge for design requirements in front of the parking and Figure 27-105-22 Side Yard Parking.

(2) Floor-to-floor Height

The following explains the line item requirements for each Building Type Table within the section entitled "Floor-to-floor Height."

Overall permitted building heights are designated by District in stories. Refer to 27-104 Districts.

a. Ground Story and Upper Stories, Minimum and Maximum Height. (Refer to Figure 27-105-23 Measuring Story Height). Each Building Type indicates a permitted range of height in feet for the ground story and upper stories of the building.

- 1. Measurement.** Floor height is measured in feet between the floor of a story to the floor of the story above it.
- 2. Single Story Buildings and Top Stories.** For single story buildings and the uppermost story of a multiple story building, floor-to-floor height shall be measured from the floor of the story to the tallest point of the ceiling.
- 3. Street Facing Facades.** Floor height requirements apply only to street facing facades.
- 4. Mezzanines.** Mezzanines may be included within the floor-to-floor height of any story, included in the calculation of stories. Mezzanines occupying more than 30 percent of the floor area below and extending above the story's allowable floor-to-floor height shall count as an additional story, including

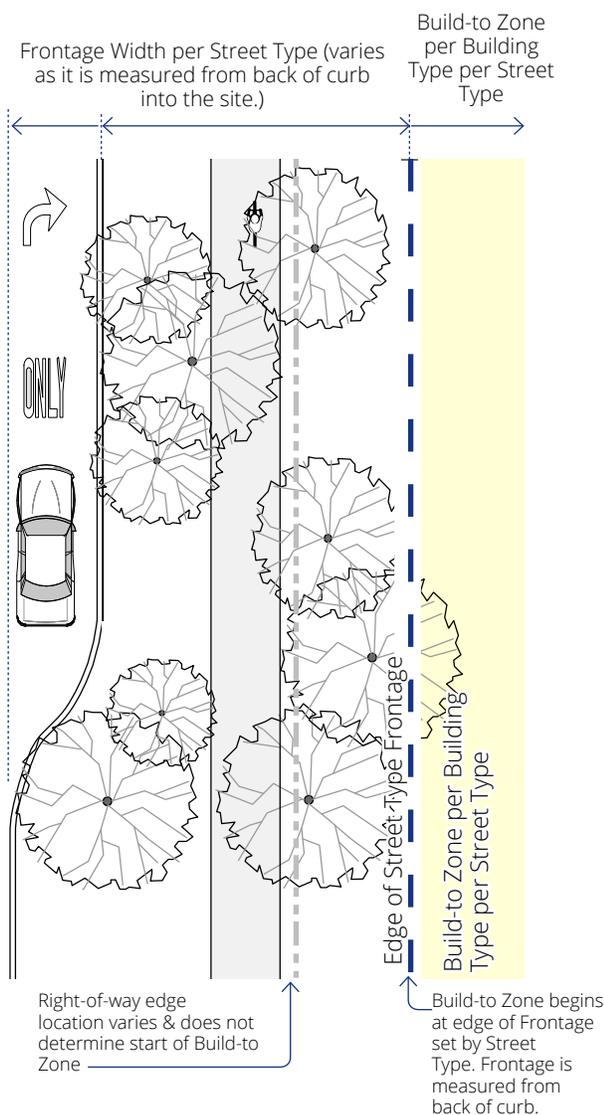


Figure 27-105-20 Location of Build-to Zone in relation to Frontage

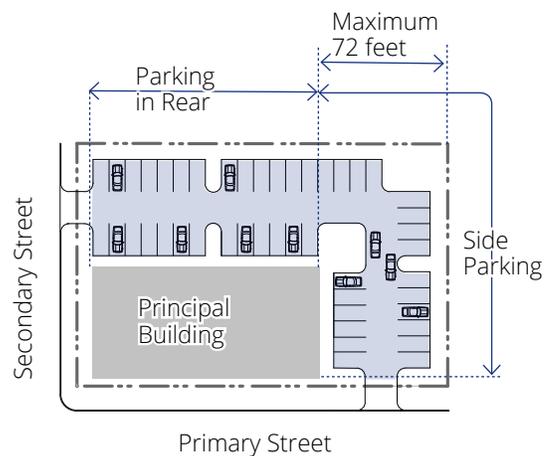


Figure 27-105-21 Side Yard Parking

27-105 Building Types

Explanation of Specific Building Type Requirements

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articulation of the story per 27-105.C.4.a Minimum Fenestration.

- Taller Spaces.** Spaces exceeding the allowable floor-to-floor heights of the Building Type are not permitted on Primary Street facades. These spaces are unlimited on interior lot and Secondary Street facades, and limited to no more than 50 percent of Major or Minor Parkway facades.

b. Ground Story Elevation. The allowable ground story elevation for each Building Type is defined, establishing whether or not a visible basement is permitted.

- Visible Basements.** Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story

(3) Uses within Building

The following explains the line item requirements for each Building Type Table within the section entitled "Uses within Building." Refer to 27-104.F Uses for uses permitted within each Zoning District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type.

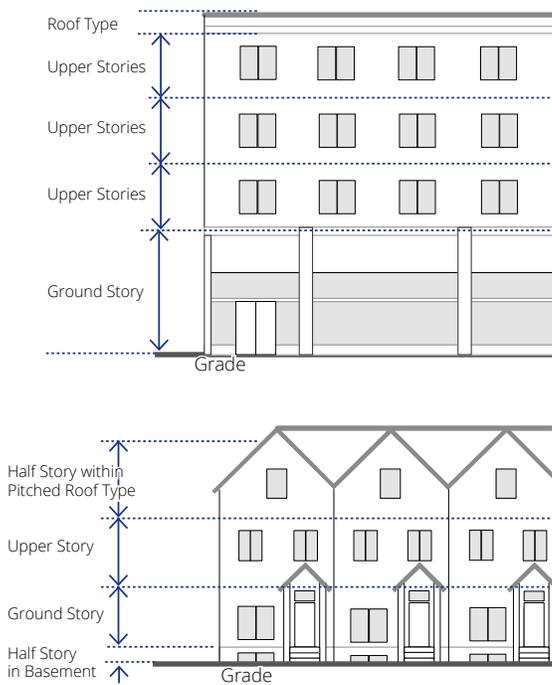


Figure 27-105-22 Measuring Story Height

- Ground and Upper Story.** The uses or category of uses which may occupy the ground and/or upper story of a building.
- Parking Within Building.** The area(s) of a building in which parking is permitted within the structure.
- Required Occupied Space.** The required depth of Occupied Space from the noted facade(s). Refer to 27-103.D Definitions for the definition of Occupied Space.

(4) Street Facade Design Requirements.

The following explains the line item requirements for each Building Type within the section entitled "Street Facade Requirements".

These requirements apply only to facades facing public or private streets and facades facing main parking lots where visitors or customers park.

- Minimum Fenestration.** (Refer to Figure 27-105-25 Measuring Fenestration per Facade). The minimum amount of ground story transparent

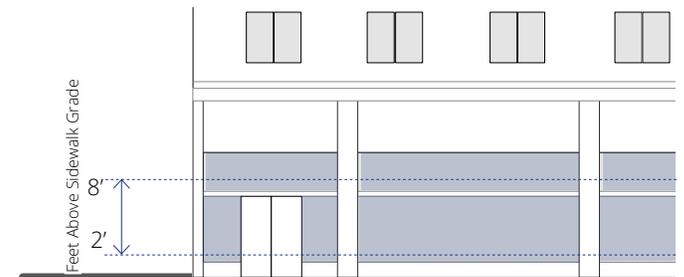


Figure 27-105-23 Measuring Ground Story Windows

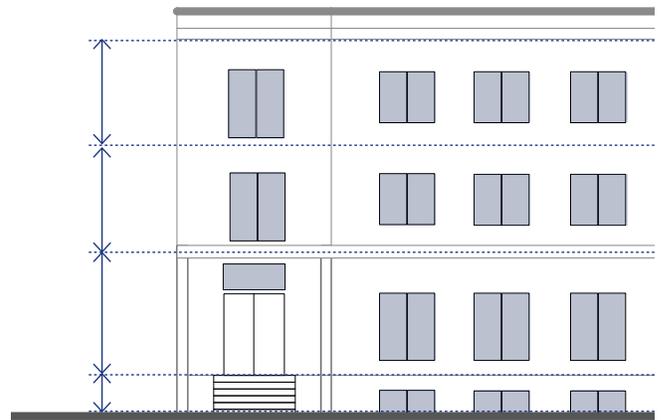


Figure 27-105-24 Measuring Fenestration per Facade

glass required on facades facing street and parking facades.

1. **Measurement.** Ground Story windows, when defined separately from the overall minimum fenestration, shall be measured between 2 feet and 8 feet from the average grade at the base of the front facade. Refer to Figure 27-105-24, Measuring Ground Story Windows.
 2. **Transparent.** Transparent means any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
 3. **Other Stories.** A general minimum fenestration requirement applies to all other stories visible from any street. Refer to 27-98.E.4.a Quantity of Windows.
 4. **Arcades, Galleries, Courtyards.** Ground story windows shall be located on the interior facade of any arcade or gallery. Ground story windows shall continue around a minimum of 60 percent of courtyard facades.
- b. Entry Area.** Size requirements and recommended types of entrance areas per Building Type.
- c. Required Number of Street Entrances.** The minimum number of and maximum spacing between entrances on the ground floor building facade with Primary Street frontage.
- d. Vertical Facade Divisions.** The use of a vertically oriented expression line or form to divide the facade into **vertical divisions** at increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of 1.5 inch depth. Refer to 27-103.D Definitions for the definition of expression line.
- e. Horizontal Facade Divisions.** The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions **at locations designated**. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of 1.5 inch depth.

(d) General Building Design Requirements.

(1) Applicability. The following outlines general design requirements applicable to all buildings within the Perimeter Center districts. These requirements apply to all facades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.

(2) Intent. These requirements are intended to address each building's appearance and to elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

(3) Perimeter Center Overlay. Refer to the Perimeter Center Overlay for additional general design requirements.

(4) Tall Building Design

a. Applicability. The guidelines in this section shall apply to all buildings 12 or more stories in height as part of the site plan review process (refer to 27-103.B Administration & Procedures).

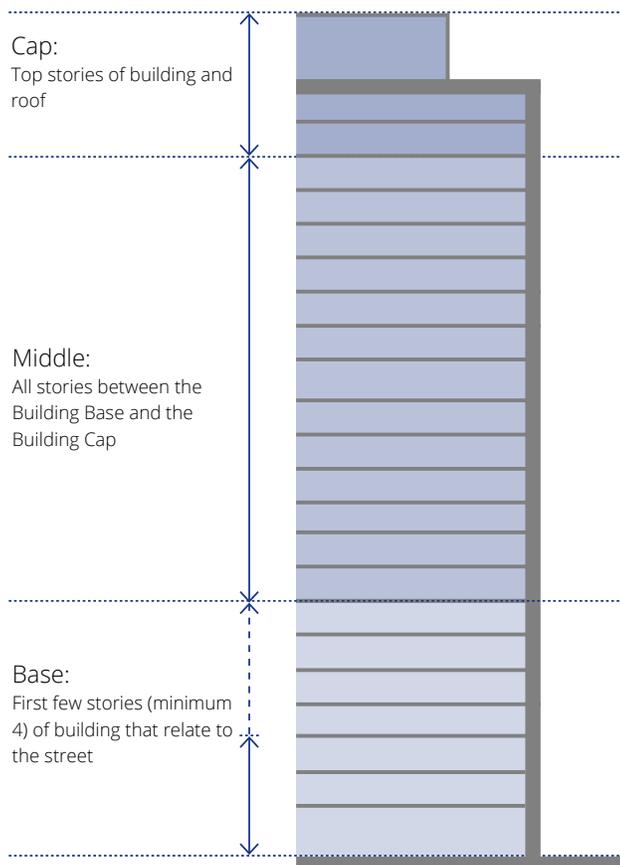


Figure 27-105-25 Tall Building Base, Middle, and Cap

b. Building Type. Each Tall Building shall meet the requirements of one of the permitted building types in the district. The following is in addition to the building type requirements.

c. Base, Middle, Cap. These requirements refer to Tall Building design by Base, Middle, and Cap as defined in the following intent statements. Refer to Figure 27-105-26 Tall Building Base, Middle, and Cap.

- 1. Base.** The base of a tall building is intended to establish an active ground story along the street and provide a public building face (such as a lobby, retail/service space, or restaurant) for all of the activities that occur within a building.
- 2. Middle.** The middle section of a tall building is intended to be oriented to maximize light reaching the Primary Street, to avoid the "walling off" of the Primary Street along the entire length, and allow views to the sky from the street.
- 3. Cap.** The cap of the tall building includes the top few stories of the building and is intended to be designed consciously to contribute to the Perimeter Center skyline per the following requirements.

d. Tall Building Base Requirements. The base requirements for the tall building shall follow the requirements of the building type, whether a Shopfront or a General building, with the

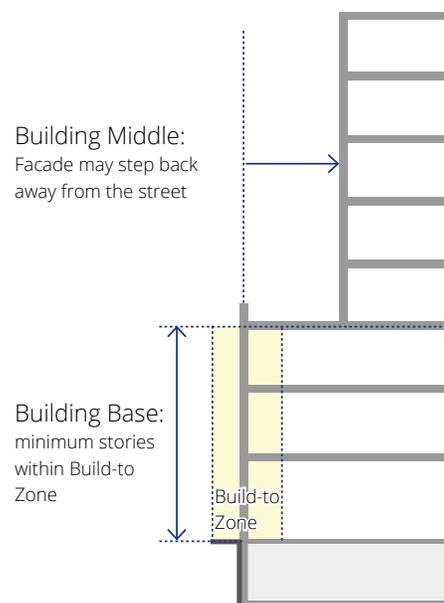


Figure 27-105-26 Building Massing in Build-to Zone

following additional requirements. Refer to 27-105.B.2.a through 27-105.B.2.e. and Figure 27-105-27 Building Massing in Build-to Zone.

1. **Build-to Zone.** The building base shall be wholly located within the build-to zone.
2. **Buildings 12 to 18 stories.** For buildings or portions of buildings 12 to 18 stories, the base shall be a minimum of 4 stories.
3. **Buildings over 18 stories.** For buildings or portions of buildings over 18 stories, the base of that portion shall be a minimum of 7 stories.

e. Tall Building Middle Guidelines. The middle of the building shall meet any applicable requirements of 27-105 Building Types. The following guidelines shall be considered.

1. **Orientation.** The building middle should be oriented with the shortest side parallel to a Primary Street to avoid a continuous building wall along the frontage above the building base. Refer to Figure 27-105-28 High Rise Building Orientation.
2. **Narrowest Widths.** When possible, tall buildings should utilize the narrowest widths economically feasible, to limit the mass of and shadows cast by the tall building.
3. **Step-Back.** The facade of the middle of the building may step back away from the street above the minimum base height (refer to

27-105.D.4.d, above). Refer to Figure 27-105-27 Building Massing in Build-to Zone.

4. **Peaks and Valleys in the Skyline.** Overall heights of tall buildings should be varied to allow those peaks and valleys to emerge in the overall skyline (refer to Figures 27-105-29 Skyline Example and 27-105-30 Atlanta Skyline).
5. **Multiple Tall Buildings.** When more than one tall building is utilized for a development, the following is recommended.
 - i. **Varying Heights.** The heights of the multiple tall buildings should vary by 5 or more stories to encourage development of an interesting skyline.
 - ii. **Spacing.** Spacing between tall buildings should be a minimum of 60 feet to allow light and views of the sky between the towers.

f. Tall Building Cap Guidelines. The top stories and the roof of a tall building shall be considered the cap (refer to Figure 26-105-20 Tall Building Base, Middle, and Cap).

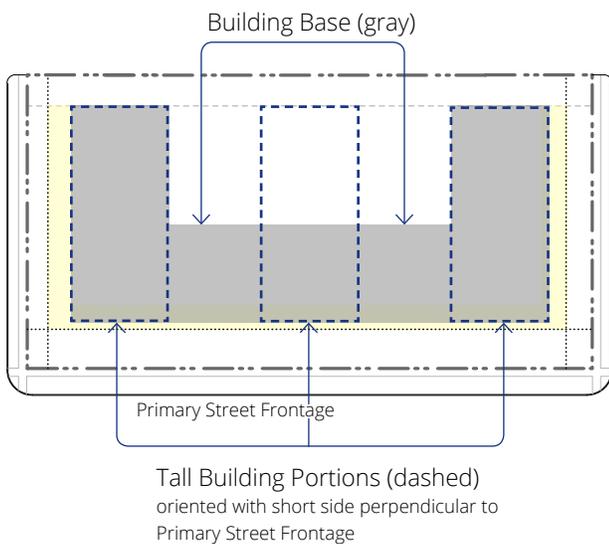


Figure 27-105-27 Tall Building Orientation



Figure 27-105-28 Skyline Example. This image shows part of the existing skyline west of the Perimeter Center districts. Note the difference between pairs of buildings with different heights versus pairs of buildings with the same height (image from Google Earth, 2015).



Figure 27-105-29 Atlanta Skyline. Note that the Atlanta skyline has buildings of varied heights in peaks and valleys. Certain buildings have distinctive caps, especially those tallest in height (image by Carson Matthews).

27-105 Building Types

General Building Design Requirements.

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1. The massing and/or material expression of the cap should define it distinctly from the middle of the building.
2. The building cap design should contribute to variation and interest in the skyline, complementing existing nearby building caps.
3. All tall buildings should not have distinctive caps to avoid too many focus points in the skyline. Coordinate the design with City staff to ensure a cohesive skyline occurs.

(5) Articulation of Stories. Stories shall be articulated on street facing facades utilizing the following.

- a. Fenestration.** Fenestration or window placement shall be organized by stories.
- b. Expression Lines.** Horizontal expression lines and lintels shall be used to delineate stories with minimum expression lines required per Building Type.
- c. Mezzanines.** Mezzanines treated as a separate floor to floor height and story shall be articulated on the facade as a separate story.
- d. Taller Spaces.** Spaces exceeding the allowable floor to floor heights of the Building Type per 27-105.B.2.a through 27-105.B.2.e shall be articulated as multiple stories on the street facade.

(6) Treatments at Terminal Vistas. When a street terminates at a parcel, the parcel shall be occupied by one of the following:

- a.** If the parcel is open space, any Open Space Type (refer to 27-106 Open Space Types) shall be utilized and a vertical element shall terminate the view. Acceptable vertical elements include, but are not limited to, a stand or grid of trees, a sculpture, a gazebo or other public structure, or a fountain.
- b.** If the parcel is not utilized as an Open Space Type, the facade of a building, whether fronting a Primary Street or not, shall terminate the view. The building shall incorporate one of the following treatments to terminate the view: a tower, a bay, or a courtyard.
- c.** Parking. In no case, shall a parking structure or a surface parking lot terminate a vista.

(7) Building Variety. Building design should vary between vertical facade divisions, where required per the Building Types, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following.

Refer to Figure 27-98-27 for one illustration of this requirement.

- a.** The proportion of recesses and projections.
- b.** The location of the entrance and window placement, unless shopfronts are utilized.
- c.** Roof type, plane, or material, unless otherwise stated in the Building Type requirements.

(8) Arcade Design. (Refer to Figure 27-105-31). An Arcade is a covered pedestrian walkway within the recess of a ground story.

- a. Depth.** An open-air public walkway recessed from the principal facade of the building a minimum of 8 feet and a maximum of 15 feet.
- b. Build-to Zone.** When the Arcade is utilized, the outside face of the Arcade shall be considered the front facade, located within the required build-to zone.
- c. Column Spacing.** Columns shall be spaced between 10 feet and 12 feet on center.
- d. Column Width.** Columns shall be a minimum of 1 foot 8 inches and a maximum 2 foot 4 inches in width.
- e. Arcade Opening.** Opening shall not be flush with interior arcade ceiling and may be arched or straight.
- f. Horizontal Facade Division.** A horizontal expression line shall define the ground story facade from the upper stories.
- g. Visible Basement.** A visible basement is not permitted.

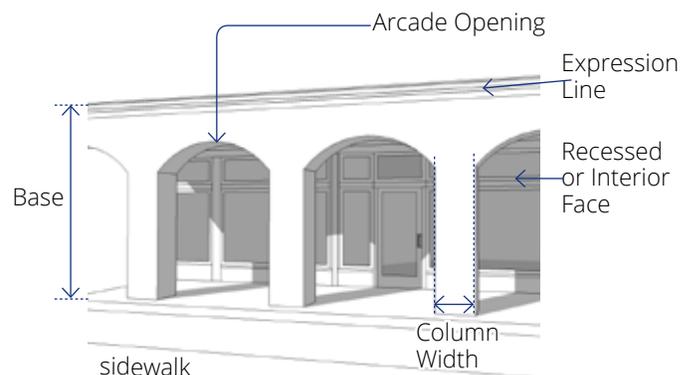


Figure 27-105-30 Arcade.

(9) Rear Parking Facade Design. The following applies in all locations where a public building entrance occurs on the rear facade abutting a main parking lot. A main parking lot is one in which more than 50 percent of the parking is located. Refer to Figure 27-105-32 Example of Main Parking Lot Rear Facade Treatment.

- a. Applicable Location.** The required ground story treatment for the street facade of the Building Type shall apply to a minimum of 30 feet or 30 percent of the rear facade along the parking lot, whichever is greater (refer to 27-105.B Building Types).
- b. Window Requirement.** The public building entrance facade area shall utilize one of the following:
 1. For a Shopfront Building Type, a minimum 65 percent fenestration is required on the ground floor facade entrance, and the door shall be a minimum of 50 percent transparent.
 2. For a General or Civic Building Type, a minimum of 20 percent minimum fenestration is required on the rear ground floor, and the door shall be a minimum of 45 percent transparent.
- c.** Awnings and signage are encouraged on the rear parking facade.
- d.** Blank walls without windows should be treated with signage or other design elements.



Figure 27-105-31 Example of Main Parking Lot Rear Facade Treatment.

(10) Roof Types. All buildings under 8 stories shall meet the requirements of one of the following roof types.

- a. Parapet Roof Type.** (Refer to Figure 27-105-33, Parapet Roof Type). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems ~~from the street~~.
 1. **Parapet Height.** Height is measured from the top of the upper story to the top of the parapet. Minimum height is 2 feet with a maximum height of 6 feet. **Additional height may be approved through a minor exception.**
 2. **Horizontal Expression Lines.** An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.
 3. **Occupied Space.** Occupied space shall not be incorporated behind this roof type.
- b. Pitched Roof Type.** (Refer to Figure 27-105-34, Pitched Roof Type). This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.
 1. **Pitch Measure.** The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12. Slopes less than 4:12 are permitted to occur on second story or higher roofs.
 2. **Configurations.**
 - i. Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
 - ii. Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight feet, inclusive of overhang.
 - iii. Gambrel and mansard roofs are not permitted.

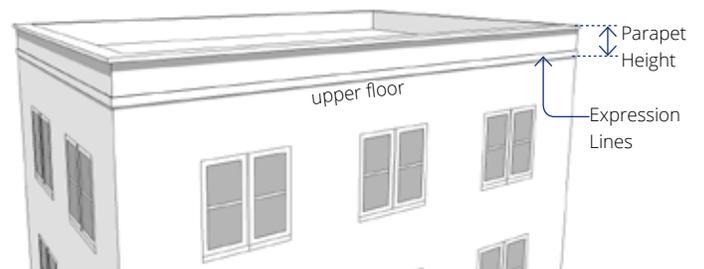


Figure 27-105-32 Parapet Roof Type

27-105 Building Types

General Building Design Requirements.

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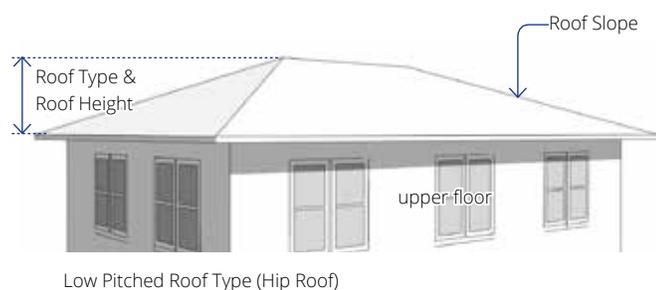
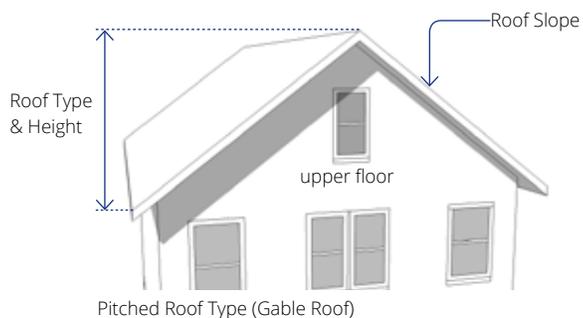


Figure 27-105-33 Pitched Roof Type

3. **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every 100 feet of roof when the ridge line runs parallel to the front lot line. (Refer to Figure 27-105-34, Pitched Roof Type).
4. **Roof Height.** Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to 1.5 times the floor height utilized on the building.
5. **Occupied Space.** Occupied space may be incorporated behind this roof type and the space counts as a half story.

c. Flat Roof Type. (Refer to Figure 27-105-35 Flat Roof Type). This roof type has a flat roof with overhanging eaves.

1. **Configuration.** Roofs with no visible slope are acceptable. Eaves are required on all street facing facades.

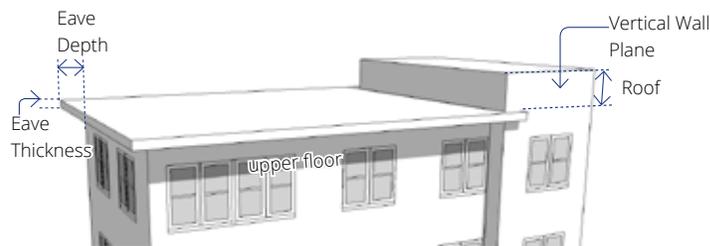


Figure 27-105-34 Flat Roof Type

2. **Eave Depth.** Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least 14 inches.
 3. **Eave Thickness.** Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight inches thick.
 4. **Interrupting Vertical Walls.** Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - i. No more than one-half of the front facade can consist of an interrupting vertical wall.
 - ii. Vertical walls shall extend no more than four feet above the top of the eave.
 5. **Occupied Space.** Occupied space shall not be incorporated behind this roof type.
- d. Special Roof Types.** Special roof designs may be approved through a minor exception by the Community Development Director with the following requirements:

1. **Applicability.** The following buildings or uses are allowed to submit for a special roof type.
 - i. A building 18 stories or taller with the intent of encouraging an interesting skyline for the area.
 - ii. A building warranting a separate status from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use, such as a dome for a planetarium or a unique roof for a civic building.
2. The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
3. The shape of the roof shall be significantly different from those defined in this section 27-105.D.10 Roof Types, i.e. a dome, spire, vault.

27-106 Open Space Types

SECTIONS

- A. Intent.
- B. Applicability.
- C. General Requirements.
- D. Stormwater in Open Space Types.
- E. Plaza.
- F. Green.
- G. Commons.
- H. Park.

27-106 Open Space Types

General Requirements.

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(a) Intent.

To provide open space as an amenity that promotes physical and environmental health within the community and to provide access to a variety of active and passive open space types.

(b) Applicability.

The standards outlined apply to open space required per Perimeter Center district (refer to 27-104.B through 27-104.E).

(1) Existing Open Space. Existing open space may be used to meet the minimum requirement; however, the existing open space shall conform to one of the types defined.

(2) Neighboring Open Space. Open space within the distance requirement located on a neighboring parcel may be used to meet the minimum requirement under the following conditions:

- a. **Route.** A clearly defined, publicly accessible pedestrian route shall connect the neighboring space to the entrances of the applicable buildings on the development site.
- b. **Available.** The neighboring space shall be either be open to the public or designated by covenants as available to the occupants and visitors of the new development.

(3) Fee in-lieu. The Community Development Director may accept a fee in-lieu of provision of the open space....

(c) General Requirements.

All open space shall meet the following requirements.

(1) Open Space Types. All open space provided within any Perimeter Center District shall comply with one of the Open Space Types defined by 27-106.E through 27-106.H.

(2) Access. All Open Space Types shall provide public access from a pedestrian route associated with a vehicular right-of-way and/or adjacent building entrances/exits.

(3) Dedicated. Open Space Types shall be designated by easement or, with permission of the City, may be either located within the right-of-way or dedicated by plat as a separate lot.

(4) Fencing. Open Space Types may incorporate fencing provided that the following requirements are met.

- a. **Height.** Fencing shall be a maximum height of 48 inches, unless approved by the Community Development Director for such circumstances as proximity to railroad right-of-way and use around swimming pools, ball fields, and ball courts.
- b. **Level of Opacity.** Fence opacity shall be no greater than 60 percent.
- c. **Type.** Chain-link fencing is not permitted along any street frontage, with the exception of

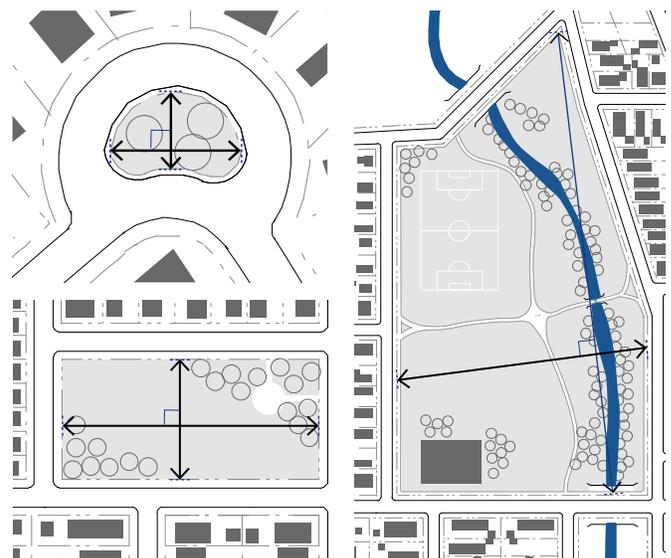


Figure 27-106-1 Measuring Minimum Dimensions

dedicated sports field or court fencing approved by the Community Development Director.

d. Spacing of Openings. Openings or gates shall be provided on every street face at a minimum of one per every 200 feet.

(5) Open Water Body. All open water bodies, such as lakes, ponds, pools, creeks, and streams, within an Open Space Type shall be located at least 20 feet from a property line to allow for pedestrian and bicycle access as well as a landscape area surrounding the water body.

(6) Parking Requirements. Parking shall not be required for any Open Space Type, unless a use other than open space is determined by the Community Development Director.

(7) Continuity. New open space shall connect to abutting, or proximate existing or planned trail right-of-way or open space.

(8) Measuring Size.

a. Size. The size of the Open Space Type is measured to include all landscape and paving areas associated directly with the Open Space Type.

b. Minimum Dimension. The minimum length or width of the Open Space Type, as measured along the longest two straight lines intersecting at a right angle defining the maximum length and width of the lot. Refer to Figure 27-106-1 Measuring Minimum Dimensions.

(9) Minimum Percentage of Street Frontage Required. A minimum percentage of the open space perimeter, as measured along the outer edge of the space, shall be located directly adjacent to a Parkway, Primary Street, or Secondary Street. This requirement provides access and visibility to the open space.

(10) Improvements. As noted in the specific requirements for each Open Space Type (27-106.E through 27-106.H), the following types of site improvements and structures may be permitted on an Open Space Type.

a. Fully Enclosed Structures Permitted. Fully enclosed structures may include such uses as small cafes, kiosks, community centers, and restrooms.

(1) **Maximum Area.** For some civic open space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the open space area.

(2) **Semi-Enclosed Structures.** Open-air structures, such as gazebos, are permitted in all open space types.

b. Maximum Impervious and Semi-Pervious Surface Permitted. The amounts of impervious and semi-pervious coverage are provided separately for each Open Space Type (27-106.E through 27-106.H) to allow an additional amount of semi-pervious surface, such as permeable paving, above the impervious surfaces permitted, including, but not limited to, sidewalks, paths, and structures as permitted.

c. Maximum Percentage of Open Water Body. The maximum amount of area within an Open Space Type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.

(d) Stormwater in Open Space Types.

Stormwater management practices, such as storage and retention facilities, may be integrated into Open Space Types and utilized to meet stormwater requirements for surrounding parcels.

(1) Stormwater Features. Stormwater features in open space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond or pool as part of the landscape design. Stormwater features shall not be fenced and shall not impede public use of the land they occupy.

(2) Walls. Retaining walls over 36 inches in height are not permitted in any open space accommodating stormwater.

(3) Qualified Professional. A qualified design professional, shall be utilized to incorporate the stormwater features into the design of the open spaces.

27-106 Open Space Types

Green.

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(e) Plaza.

The intent of the plaza is to provide a formal Open Space Type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other Open Space Type. Special features, such as fountains and public art installations, are encouraged.

(f) Green.

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

PLAZA GUIDELINES	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	80 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Pervious Surface	40% + 20%
Maximum Percentage of Open Water	30%

GREEN GUIDELINES	
Dimensions	
Minimum Size	0.50 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	50% for greens less than 1.25 acres; 50% for greens 1.25 or more acres in size
Improvements	
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	20% + 15%
Maximum Percentage of Open Water	30%



(g) Commons.

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

(h) Park.

The intent of the park is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

COMMONS GUIDELINES	
Dimensions	
Minimum Size	0.25 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0%; requires a minimum of two access points (minimum 20 feet wide)
Improvements	
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water	30%

PARK GUIDELINES	
Dimensions	
Minimum Size	2 acres
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Fully Enclosed Structures	Permitted in parks 5 acres or larger in size
Maximum Impervious Surface + Semi-Pervious Surface	20% + 10%
Maximum Percentage of Open Water	30%

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