

VARIANCE APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
 Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: _____ Date Received: _____

*** Type:**

Type of Request: Chapter 16-Streams Chapter 16-Other Chapter 20-Signs Chapter 27-Zoning
 Code section from which variance is sought: Chapter 27 Section 73
 Nature of Request: Reduction of rear building setback from 30 feet to 12 feet for placement of rear drive-through canopy.

*** Project:**

Name of Project / Subdivision: SunTrust Dunwoody Zoning: C-1
 Property Address / Location: 5490 Chamblee Dunwoody Road Dunwoody, Georgia 30338
 District: 18 Land Lot: 366 Block: _____ Property ID: _____

*** Owner Information:**

Owner's Name: Dirk Laukien
 Owner's Address: 24 waterway ave suite 225 The Woodlands, Texas 77380
 Phone: _____ Fax: _____ Email: _____

*** Applicant Information:** Check here if same as Property Owner

Contact Name: David Blumenthal
 Address: 4317 Park Drive Suite 400 Norcross, GA 30093
 Phone: 770-695-3371 Fax: 770-416-6759 Email: dblumenthal@travispruitt.com

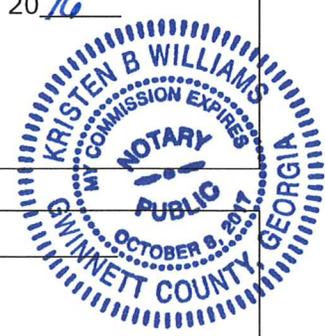
*** Terms & Conditions:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.

Applicant's Name: David Blumenthal
 Applicant's Signature: [Signature] Date: 5/27/16

*** Notary:**

Sworn to and subscribed before me this 27th Day of May, 2016
 Notary Public: KRISTEN B. WILLIAMS
 Signature: [Signature]
 My Commission Expires: October 8, 2017



*** Office Use:**

Application Fee Paid Sign Fee Paid (\$135 x number of signs required) Fee: \$ _____
 Payment: Cash Check CC Date: _____
 Approved Approved w/ Conditions Denied Date: _____

VARIANCE APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: _____ Date Received: _____

*** Type:**

Type of Request: Chapter 16-Streams Chapter 16-Other Chapter 20-Signs Chapter 27-Zoning
Code section from which variance is sought: Chapter 27 Section 211
Nature of Request: Reduction of drive-through setback from 25 feet to 10 feet off of the rear property line.

*** Project:**

Name of Project / Subdivision: SunTrust Dunwoody Zoning: C-1
Property Address / Location: 5490 Chamblee Dunwoody Road Dunwoody, Georgia 30338
District: 18 Land Lot: 366 Block: _____ Property ID: _____

*** Owner Information:**

Owner's Name: Dirk Laukien
Owner's Address: 24 Waterway Ave Suite 225 The Woodlands, Texas 77380
Phone: _____ Fax: _____ Email: _____

*** Applicant Information:** Check here if same as Property Owner

Contact Name: David Blumenthal
Address: 4317 Park Drive Suite 400 Norcross, GA 30093
Phone: 770-695-3371 Fax: 770-416-6759 Email: dblumenthal@travispruitt.com

*** Terms & Conditions:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.

Applicant's Name: David Blumenthal
Applicant's Signature: *DB* Date: 5/27/16

*** Notary:**

Sworn to and subscribed before me this 27th Day of May,
Notary Public: KRISTEN B. WILLIAMS
Signature: *Kristen B. Williams*
My Commission Expires: October 8, 2017



*** Office Use:**

Application Fee Paid Sign Fee Paid (\$135 x number of signs required) Fee: \$ _____
Payment: Cash Check CC Date: _____
 Approved Approved w/ Conditions Denied Date: _____

VARIANCE APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
 Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: _____ Date Received: _____

*** Type:**

Type of Request: Chapter 16-Streams Chapter 16-Other Chapter 20-Signs Chapter 27-Zoning
 Code section from which variance is sought: Chapter 27 Section 250
 Nature of Request: Increase in maximum allowed footcandles near property line and on site

*** Project:**

Name of Project / Subdivision: SunTrust Dunwoody Zoning: C-1
 Property Address / Location: 5490 Chamblee Dunwoody Road Dunwoody, Georgia 30338
 District: 18 Land Lot: 366 Block: _____ Property ID: _____

*** Owner Information:**

Owner's Name: Dirk Laukien
 Owner's Address: 24 Waterway Ave Suite 225 The Woodlands, Texas 77380
 Phone: _____ Fax: _____ Email: _____

*** Applicant Information:** Check here if same as Property Owner

Contact Name: David Blumenthal
 Address: 4317 Park Drive Suite 400 Norcross, GA 30093
 Phone: 770-695-3371 Fax: 770-416-6759 Email: dblumenthal@travispruitt.com

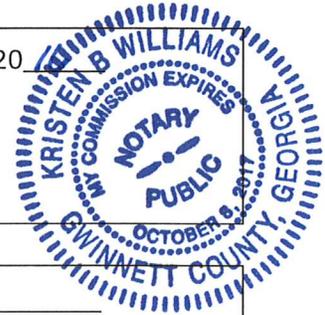
*** Terms & Conditions:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.

Applicant's Name: David Blumenthal
 Applicant's Signature: [Signature] Date: 5/27/16

*** Notary:**

Sworn to and subscribed before me this 27th Day of May, 2016
 Notary Public: KRISTEN B. WILLIAMS
 Signature: [Signature]
 My Commission Expires: October 8, 2017



*** Office Use:**

Application Fee Paid Sign Fee Paid (\$135 x number of signs required) Fee: \$ _____
 Payment: Cash Check CC Date: _____
 Approved Approved w/ Conditions Denied Date: _____

Property Owner(s) Notarized Certification

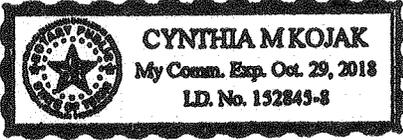


41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

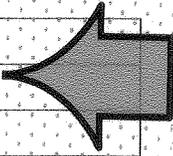
* Property Owner (If Applicable):

Owner Name: Dick Lawrien
Signature: [Signature] Date: 5/26/2016
Address: 24 Waterway Ave Suite 225 The Woodlands, TX 77380
Phone: 832-813-7373 Fax: _____ Email: _____
Sworn to and subscribed before me this 26th Day of May, 2016
Notary Public: Cynthia M. Kojak



* Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public: _____



* Property Owner (If Applicable):

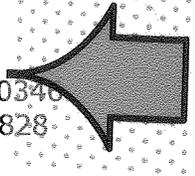
Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public: _____

HERE

Campaign Disclosure Statement



41 Perimeter Center East | Dunwoody, GA 30340
 Phone: (678) 382-6800 | Fax: (770) 396-4828



Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission? YES NO

*** Applicant / Owner:**

Signature: [Handwritten Signature] Date: 5/26/2016
 Address: 29 Waterman Avenue The Woodlands, TX 77380

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

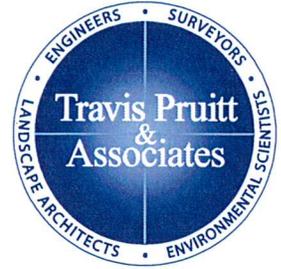
DESCRIPTION OF PROPERTY

All that tract or parcel of land lying and being in Land Lot 366 of the 18th District, City of Dunwoody, DeKalb County, Georgia and being more particularly described as follows:

To find the Point of Beginning, commence at the intersection of the western right of way line of Nandina Lane (right of way varies) and the southwestern right of way line of Chamblee Dunwoody Road (right of way varies); thence proceeding northwesterly along said right of way line of Chamblee Dunwoody Road along a curve to the right a distance of 133.85 feet to a 1/2 inch rebar found at the most eastern property corner of Peachtree Shops of Dunwoody LLC, as recorded in Deed Book 25135, Page 140; thence continuing along said right of way line of Chamblee Dunwoody Road with the most eastern property line of Peachtree Shops of Dunwoody LLC, as recorded in Deed Book 25135, Page 140, North 20 degrees 32 minutes 09 seconds West a distance of 103.10 feet to a 1 inch rebar found, said point being the Point of Beginning.

From the Point of Beginning, as thus established, leaving Chamblee Dunwoody Road and continuing with the property line of Peachtree Shops of Dunwoody LLC, as recorded in Deed Book 25135, Page 140, the following courses and distances: North 89 degrees 38 minutes 10 seconds West a distance of 161.97 feet to a nail found, North 20 degrees 22 minutes 06 seconds West a distance of 44.71 feet to a nail found, South 88 degrees 21 minutes 11 seconds West a distance of 14.09 feet to a nail found and North 19 degrees 30 minutes 11 seconds West a distance of 155.66 feet to a 1 inch rebar found on the southern property line of Manhattan Chamblee Dunwoody Properties LLC, as recorded in Deed Book 21100, Page 164; thence proceeding with the southern property line of Manhattan Chamblee Dunwoody Properties LLC, as recorded in Deed Book 21100, Page 164, South 89 degrees 46 minutes 27 seconds East a distance of 173.70 feet to a 1 inch rebar found on the southwestern right of way line of Chamblee Dunwoody Road; thence proceeding along said right of way line of Chamblee Dunwoody Road South 20 degrees 20 minutes 03 seconds East a distance of 201.12 feet to a 1 inch rebar found, said point being the Point of Beginning.

Said tract contains 32,355 square feet or 0.7428 acres.



May 27, 2016

City of Dunwoody Planning Department
41 Perimeter Center East
Suite 250
Dunwoody, Georgia 30346

Subject: Request for Variance to Reduce 30-foot Rear Building Setback
Proposed SunTrust, Existing Hickory House

Request for Variance to Reduce 25-foot Side and Rear Yard Drive-
Through Setbacks

Request for Variance to Increase the Maximum Footcandles allowed
at the Property line and in Parking Areas

Dear Sir or Madam:

SunTrust is proposing a new Bank Branch and drive-through to be located at 5490 Chamblee Dunwoody Road. The project is located on tax parcel 18-366-01-013 which is currently a vacant restaurant site. This property previously contained a Hickory House restaurant for the past 35 years and does not comply with the Dunwoody Overlay District Regulations.

The proposed project will involve a complete redevelopment of the site. The proposed site will add a new 3,700 square foot building, rear drive-through with canopy, and additional landscaped area. The impervious area on-site will decrease from 0.74 acres to 0.39 acres. Configuration of the site requires the Drive Through canopy and lanes to encroach into an existing 30 foot rear building setback and an existing 25 foot drive-through rear and side yard setbacks. The existing 30-foot building setback area on-site is paved and includes portions of the existing Hickory house building. The existing drive-through setbacks are paved and contains existing parking spaces and drive aisles and delivery area. The proposed Bank Brach requires an increase in maximum footcandles to ensure the safety of the customers throughout the site.

The property to the immediate west of the project area is a ±9 acre shopping center site with dining and retail and is currently zoned C-1. The two properties are divided by a private drive and a retaining wall that expands north along the drive. The retaining wall is approximately 5 feet in height and restricts access and orientation of entrances and exits. The Dunwoody Village Overlay District regulations require that buildings be placed at

the front of the property line and the parking placed behind has severely limited the placement of structures such as the drive-through canopy.

Under section 20-65, we hereby request a variance from the City of Dunwoody Zoning Ordinance, Section 27-73, to reduce the 30-foot building setback to 12-feet along the western side (rear) of the subject property. Under section 20-65, we hereby request a variance from the City of Dunwoody Zoning Ordinance, Section 27-211, to reduce the 25-foot drive-through setback to 10-feet along the western and northern sides of the subject property. Under section 20-65, we hereby request a variance from the City of Dunwoody Zoning Ordinance, Section 27-250, to increase the maximum allowed footcaddles at the property line. The following criteria as outlined in section 27-397 have been considered in these variance requests:

(27-397.a.1) By The grant of the variance will not be detrimental to the public health, safety or welfare or injures to property or improvements;

The granting of the variance will not be materially detrimental to the public welfare or injurious to the property improvements of the surrounding commercial developments. The area most impacted by the granting of this variance consists of a large shopping center with parking and internal driveways located adjacent to the subject property. The variance will allow the property make the necessary improvements to match the Dunwoody Village Overlay District.

(27-397.a.2) The variance request is based on conditions that (1) are unique to the subject property (2) are not generally applicable to other properties in the same zoning district and (3) were not created by the owner or applicant;

The requested variance is based on unique conditions for the subject property. The depth of the property along with the regulations of the Dunwoody Village Overlay District create unique conditions for the subject property. This request is not generally applicable to other properties in the same zoning district because most properties are not as shallow and small as the subject property. None of the conditions that we wish to get a variance from have been created by the owner or applicant.

(27-397.a.3) Because of the particular conditions, shape, size, orientation or topographic conditions, the strict application of the requirements of this zoning ordinance would deprive the property owner of rights and privileges enjoyed by other similarly situated property owners;

The particular size and orientation conditions deprive the property owner of some of the adjacent property owner's privileges. The subject property size is smaller and shallower than all neighboring properties

(27-397.a.4) The requested variance does not go beyond the minimum necessary afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated property owners;

The requested variance does not constitute a grant of special privilege inconsistent with limitations upon similarly situated property owners. The requested variance will be the minimum necessary afford relief. The development will consist of parking a drive aisle and a drive-through and a building. The subject property's depth is such a hindrance and has made it difficult to achieve a general bank's necessities.

(27-397.a.5) The literal interpretation and strict application of the applicable provisions or requirements of this zoning ordinance would cause undue hardship or practical difficulty, as distinguished from a mere inconvenience;

The literal interpretation and strict application of Section 27-73 of the Zoning Ordinance would cause an undue and unnecessary hardship on the subject property. This hardship would result in the loss of use and access to portions of the property currently utilized by the existing development. A lot of the bank's customers will use the drive-through. Strict enforcement will reduce the bank's ability to provide this service for its customer.

(27-916.a.5) The requested variance would be consistent with the spirit and purpose of this zoning ordinance and the comprehensive plan.

The requested variances would be consistent with the spirit and purpose of this chapter and the city of Dunwoody Zoning Ordinance. The requested variances would allow the existing permanently closed restaurant to be redeveloped into something that meets the look and style of the Dunwoody Village Overlay District. The adjoining property immediately to the west of our site contains a large parking area and a vehicular access drive and would not be negatively impacted by granting this variance.

0

Please find enclosed the variance application, site drawings, legal description for the proposed project, site photos, and payment for the variance applications. If you have any questions or require additional information, please feel free to call me at your convenience at (770) 695-3371 or e-mail me at dblumenthal@travispruitt.com.

Sincerely,
TRAVIS PRUITT AND ASSOCIATES, INC.



David J. Blumenthal, P.E.
encl.

**FIRST AMENDED
STATEMENT OF INTENT**

and

Other Material Required by
City of Dunwoody Zoning Ordinance

Application for Variance ZBA-16-081

of

SunTrust Dunwoody

for

±0.75 Acres of Land located in
Land Lot 366, 18th District, DeKalb County

5490 Chamblee Dunwoody Road
Dunwoody, Georgia 30338

1. **§ 27-211: Request to reduce the 25-foot drive-through setback to 10-feet along the western and northern sides of the Subject Property**
2. **§ 27-73: Reduce the 30-foot building setback to 12-feet along the western side (rear) of the Subject Property**
3. **§ 27-250: Request to increase the maximum allowed footcandles**

Submitted for Applicant by:

Dennis J. Webb, Jr.
Vickie B. Chung
Smith, Gambrell & Russell, L.L.P.
Promenade II, Suite 3100
1230 Peachtree Street, N.E.
Atlanta, Georgia 30309
404-815-3500

I. INTRODUCTION

SunTrust is proposing a new Bank Branch and drive-through to be located at 5490 Chamblee Dunwoody Road to replace their existing branch located at 1710 Mt. Vernon Road. The project is located on tax parcel 18-366-01-013 which is currently a vacant restaurant site. This property previously contained a Hickory House restaurant for the past 35 years and does not comply with the Dunwoody Overlay District Regulations.

The existing site currently contains a +/- 4,200 square foot restaurant building that is currently vacant. The existing site contains 57 parking spaces located between the building and the Chamblee Dunwoody Road and has an impervious coverage of approximately 94% (with 6% landscape area). The proposed project will involve a complete redevelopment of the site, bringing it into greater compliance with the C-1 zoning district, as well as the policies and goals of the Dunwoody Village Overlay district. The proposed site will add a new +/- 3,500 square foot bank building and rear drive-through with canopy. Additional landscaped areas, expanded sidewalks, a bike lane and bicycle parking will all be provided. The impervious area on-site will be reduced from 0.70 acres to 0.43 acres. Additionally, the onsite parking will be reduced from 57 existing parking spaces to 22 proposed parking spaces, and all parking associated with the proposed bank will be located in the rear of the building.

II. VARIANCES

As noted above, the Applicant will redevelop the Subject Property in a manner that will bring it into greater compliance with the Dunwoody Village Overlay requirements. The proposed redevelopment will add additional landscaped area to the Subject Property, expand the sidewalk on Chamblee Dunwoody Road, provide a bike lane and bicycle parking, and reduce impervious area and total parking on the site. However, due to the size and shallowness of the

site, existing improvements on the western property line, and security requirements, the following variances are required.

a. § 27-211: Request to reduce the 25-foot drive-through setback to 10-feet along the western and northern sides of the Subject Property

The Subject Property is 158 deep and 152 feet wide. The property to the immediate west of the project area is a +/- 9 acre shopping center site with dining and retail and is currently zoned C-1. The two properties are divided by a private drive and a retaining wall that expands north along the drive. The retaining wall is approximately 5 feet in height and restricts access to the site and the orientation of entrances and exits. Moreover, the Dunwoody Village Overlay District regulations requiring that buildings be placed at the front of the property line and the parking placed behind has severely limited the placement of structures such as the drive-through canopy. Therefore, the size and shallowness of the Subject Property, unique conditions existing on site, and compliance with the Dunwoody Village Overlay requirements necessitate a variance from the 25 foot drive-through setback on the west and north property lines.

b. § 27-73: Request to reduce the 30-foot building setback to 12-feet along the western side (rear) of the Subject Property

The configuration of the site requires the drive-through canopy and lanes to encroach into an existing 30 foot rear building in order to facilitate safe vehicular flow through the site. This will allow for teller traffic to stack on the subject property reducing the chance of vehicles backing up on to the public right-of-way while also screening the teller lanes from view from Chamblee Dunwoody Road. The drive-through tellers will consist of two “Teller Connect” machines that will be located under a canopy structure. These machines will function as a full service bank teller lane from 8 am to 8 pm and function as an ATM during off hours. The Teller

Connect machines will connect customers via 2-way camera to a live representative but does not need to be connected to the building like the tellers at a traditional bank branch. A mock-up of the SunTrust teller machines has been attached as Exhibit 1, as requested by the City.

c. § 27-250: Request to increase the maximum allowed footcandles

The proposed increase in lighting levels above the maximum levels called for in the zoning ordinance are necessary to meet SunTrust security standards for the protection of the Bank's customers and employees (a copy of the standards is included as Exhibit 2). The standards call for a lighting level of 10 foot candles extending 5 feet around all ATM and teller units. Meeting this requirement results in an increased maximum lighting levels in the area of the drive-through canopy.

Pursuant to Section 27-397 of the Code, the criteria for each variance is met. First, the size and depth of the Subject Property, as well as requirements of the Dunwoody Village Overlay, limit the location and configuration of the drive-through. The Subject Property is 158 feet deep and 152 feet wide, smaller and shallower than surrounding properties. As noted above, the Dunwoody Village Overlay requires that buildings be placed at the front of the property line and parking be placed in the rear of the building. A private retaining wall exists on the western boundary of the property line. Therefore, unique conditions on the Subject Property and compliance with the requirements of the Dunwoody Village Overlay necessitate a variance from the western and northern drive-through setback requirements.

Second, due to the size and shallowness of the property, the strict application of the C-1 standards to this Application would deprive the property owner of rights and privileges enjoyed by other property owners in the same district. Third, the requested variances seek only the minimum necessary to afford relief and do not constitute a grant of special privilege inconsistent

with the limitations upon other properties in the relevant zoning district; again, the requested variances are necessary due to unique characteristics of the site and compliance with the Dunwoody Village Overlay. Fourth, the grant of the variances will not be materially detrimental to the public welfare or injurious to the property or improvements in the relevant zoning district; to the contrary, the variances sought support the intent of the Dunwoody Village Overlay, and specifically, the requirement to push buildings up to the street and provide parking in the rear. Fifth, the literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship and stop this development from moving forward.

All of the requested variances are consistent with the spirit and purpose of this chapter and the city of Dunwoody Zoning Ordinance, and would allow the existing permanently closed restaurant to be redeveloped into something that meets the look and style of the Dunwoody Village Overlay District.

III. LEGAL AND CONSTITUTIONAL OBJECTIONS

Under these circumstances, a refusal to issue the variances in question would be unlawful, arbitrary, capricious, irrational and a manifest abuse of discretion; all in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal to grant the requested variances would discriminate unfairly between this Applicant and others similarly situated, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

A refusal to grant the requested variances would amount to a taking of property, in violation of the Fifth and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia.

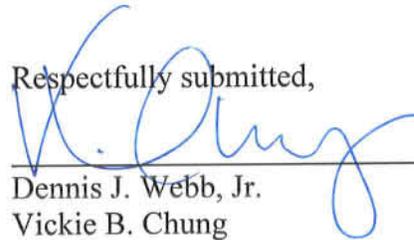
IV. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Variance Application at issue be approved. The Applicant also invites and welcomes any comments from Staff or other officials of the City of Dunwoody so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 1st day of July, 2016.

Smith, Gambrell & Russell, LLP
1230 Peachtree St., NE, Ste. 3100
Atlanta, Georgia 30309
(404) 815-3500

Respectfully submitted,

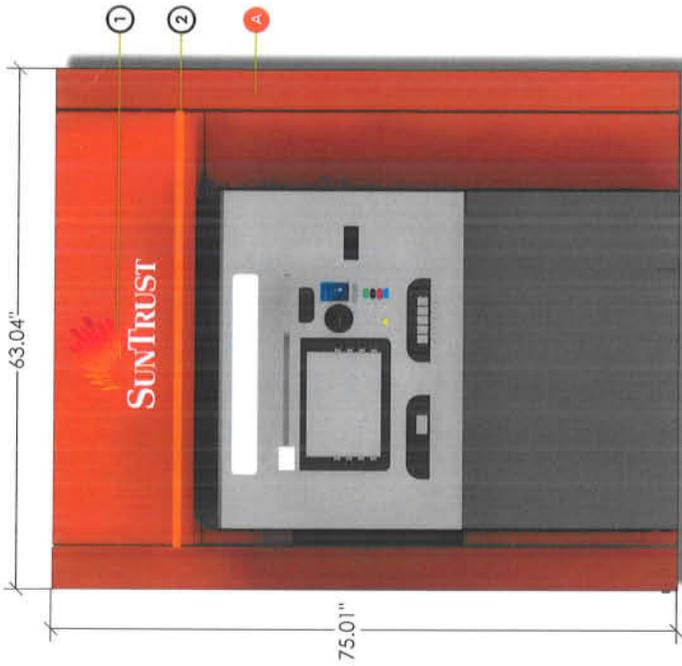


Dennis J. Webb, Jr.
Vickie B. Chung
Attorneys for Applicant

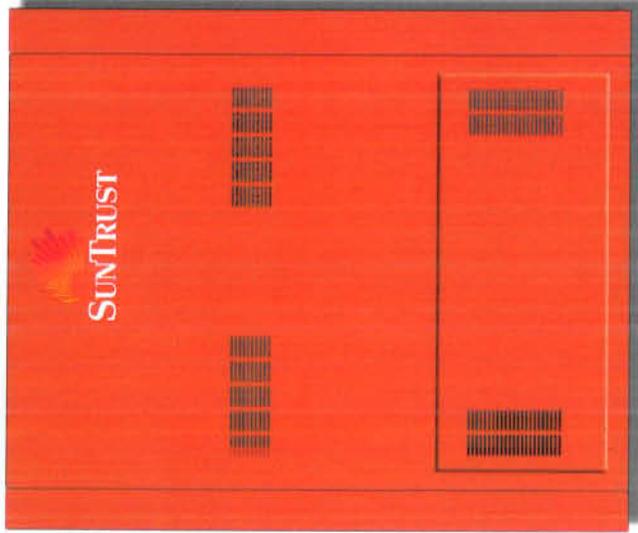
Exhibit 1:

SunTrust Teller Machines

Front View



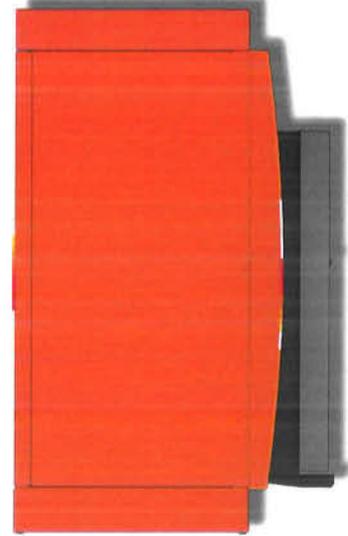
Back View



Perspective



Side View



Top View

Suntrust

UNIT: 6021.07

ATM: 6638

Graphic Information

- ① Opaque Background Paint 1st Surface Push Through
- ② 1" Back lit Chroma Strip
- ③ Back lit Acrylic Panel With Interchangeable Signage

Paint Information

PMS	Sterling Part #	Finish Type
A Orange 158c	XXXX.XXXX	Stipple Finish



Revision #

A-2

Rendered by Casey Allred

07/09/2015

Exhibit 2:

SunTrust Policy and Procedures regarding Exterior
Lighting for ATMs and ND1

SUNTRUST CORPORATE REAL ESTATE POLICIES AND PROCEDURES	FACILITIES MANAGEMENT
	Revision Date: July 1, 2016

3.3.7 Exterior Lighting for ATMs and ND1

Corporate Real Estate is responsible for maintaining minimum exterior lighting levels for ATM and After-Hour Depository units in accordance with the following policies and procedures.

Policy

Minimum exterior lighting levels will be applied to both the ATM and After-Hour Depository units at all bank locations and any defined parking area, access area and exterior of any enclosed units. The exterior lighting levels will be determined in accordance with applicable local governmental requirements. In the absence of applicable local governmental requirements, the following minimum light levels will be applied:

1. The minimum exterior light level requirement shall be as follows:
 - a. 10 foot candles at the face of the unit and extending outward 5 feet in all directions;
 - b. 2 foot candles extending outward beyond 5 feet to 50 feet from the face of the unit in all directions;
 - c. 2 foot candles in defined parking areas beyond 50 feet outward to 60 feet from the face of the unit;
 - d. If the unit is located within 10 feet of the corner of the building and the unit is generally accessible from the adjacent side, the 2 foot candle coverage shall extend 40 feet down the building side; and
 - e. If the unit is located in a vestibule and is directly accessible after-hours, the previous minimums shall apply.
2. The height of any landscaping, vegetation or other physical obstructions in the area required to be lighted shall not exceed 3 feet, except that trees trimmed to a height of 10 feet and whose diameter are less than 2 feet and manmade physical obstructions required by applicable local governmental requirements shall not be affected.

3.3.7.1 Procedures

1. The light levels will be measured at a height of 36 inches above the ground on a horizontal plane and 5 feet in front of the area to be measured.
2. The light level readings will be made on an annual basis with a meter capable of reading in both foot-candles and lux capable of obtaining readings on a horizontal basis. The meter must be calibrated at least annually or as specified by the manufacturer.
3. Records of the readings will be maintained for each location along with the corrective actions taken for locations that were not in compliance.
4. A qualified vendor will be retained to perform the procedures set forth herein. The procedures performed under this section shall be in addition to the facility inspection reports and periodic maintenance tech visits that review and correct "lights out" at each location.
5. The foregoing policy and procedures only apply to SunTrust own property or leased premises.

SUNTRUST CORPORATE REAL ESTATE POLICIES AND PROCEDURES	FACILITIES MANAGEMENT
	Revision Date: July 1, 2016

3.3.7.2 Definitions

Foot-Candle Power - means the light intensity in foot-candles measured on a horizontal plane at 36 inches above ground level.

Hours of Darkness - means the period that commences 30 minutes after sunset and ends 30 minutes before sunrise.

Access Area - any paved walkway or sidewalk within 50 feet of any ATM or AHD. The term does not include any street or highway open to the use of the public, including any adjacent sidewalk.

Defined Parking Area - portion of any parking area open for customer parking which is contiguous to an access area with respect to an ATM or AHD, is regularly, principally, and lawfully used for parking by users of the ATM or AHD while conducting transactions during the hours of darkness, and is owned or leased by SunTrust. The term does not include any parking area that is not open or regularly used for parking by users of the ATM or AHD who are conducting transactions during the hours of darkness. A parking area is not open if it is physically closed to access or if conspicuous signs indicate that it is closed.

Control - with respect to an access area or defined parking area, means to have the present legal authority to determine how, when, and by whom such area is to be used, and how such area is to be maintained, lighted, and landscaped. If SunTrust leases an access area or defined parking area as lessee, SunTrust shall not be considered to have control.



Figure 1 shows the rear of the existing building with retaining wall and access drive.



Figure 2 shows the access drive behind rear property line.



Figure 3 shows from front property line how far the existing building is setback



Figure 4 shows the rear of the existing building with attached wood sheds where the new drive-through canopy will be located.



Figure 5 shows the view from the rear property line to the adjacent access road and parking spaces.



Figure 6 shows the view from the south of the site where the new drive-through canopy will be located.



Figure 7 shows a view from the front property line to the existing building



ARCHITECTURE ■ PLANNING ■ INTERIORS

5887 GLENBRIDGE DRIVE

SUITE 375

ATLANTA, GEORGIA 30328

TEL: 404.233.8110

FAX: 404.233.7229

BOLDEN-WILLIAMS & ASSOCIATES, INC.
 (770) 251-2000 FAX (770) 251-4223
 (SHA PROJECT NO: 16/8742)

3086 HIGHWAY 282
 LAWRENCEVILLE, GEORGIA 30044

Issue	Date & Issue Description	By	Check
00	05/09/2016	MTF	LBW
ISSUED FOR PERMIT			

Scale: AS NOTED



Project Name
SUNTRUST BANK - DUNWOODY
 5490 CHAMBLEE DUNWOODY ROAD
 DUNWOODY, GEORGIA

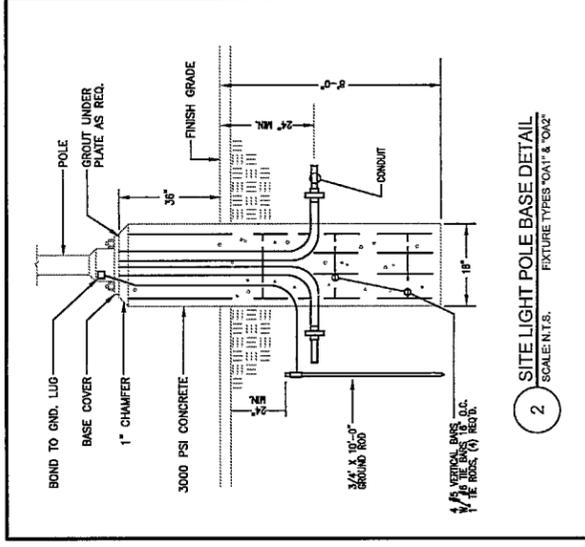
Project Number
 1629468

CAD File Name
 8742-EL.DWG

Description

ELECTRICAL LEGEND	
○	LED DOWN LIGHT FIXTURE, CEILING MOUNTED, TYPE INDICATED.
○	LED WALL MOUNTED FIXTURE, TYPE INDICATED.
■	LED PENDING LOT POLE FIXTURE, TYPE INDICATED.

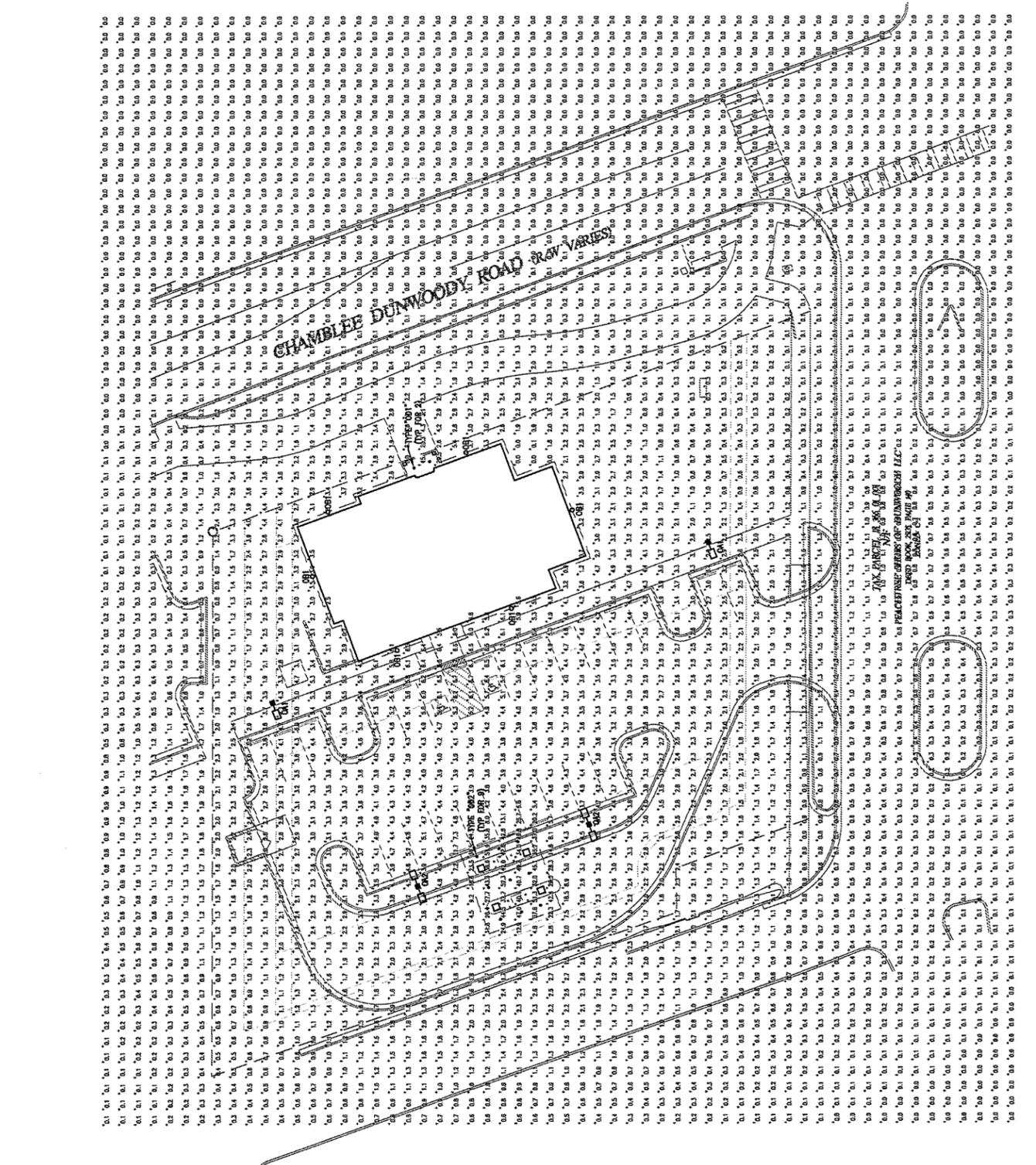
- ### ELECTRICAL GENERAL NOTES
- DRAWINGS ARE DIMENSIONAL ONLY. EXACT LOCATIONS, MOUNTING HEIGHTS OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH THE EQUIPMENT REQUIREMENTS AND FIELD CONDITIONS. REFER TO COMPLETE CONSTRUCTION DOCUMENTS (ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL) FOR ALL DIMENSIONS AND REQUIREMENTS. ALL DIMENSIONS SHALL BE MEASURED FROM THE FINISH FLOOR UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE MEASURED FROM THE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - THE ELECTRICAL CONTRACTOR SHALL FINISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE ELECTRICAL WORK COMPLETE AND READY FOR OPERATION. CONTRACTOR SHALL PROVIDE CONNECTIONS TO OWNER, CONTRACTOR, OR OTHER PARTY'S EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED. ON THE DAY OF FINAL EQUIPMENT INSTALLATION, THE ELECTRICIAN MUST BE ON SITE TO MAKE FINAL CONNECTIONS WHERE NECESSARY.
 - THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED PROJECT TO INSPECT THE EXISTING ELECTRICAL SYSTEM AND TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING ELECTRICAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROPOSED PROJECT. ALL NECESSARY COMPENSATION WILL BE ALLOWED FOR FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL INQUIRE ARCHITECT PRIOR TO BIDDING OF DISCREPANCIES WHICH EXIST BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
 - WIRE AND CONDUIT SIZE INDICATED ON DRAWINGS SHALL BE CONTINUOUS THROUGH CIRCUIT.
 - A GROUNDING CONDUCTOR SHALL BE INCLUDED IN EACH RACEWAY OR CABLE, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 - TERMINALS (JUNCTION BOXES, ETC.) IN RACEWAY SYSTEMS, RECONNECT DEVICES, LIGHTING CONDUIT SYSTEMS, PANEL BOARD, WIRE SADDLES, ETC. SHALL BE RATED FOR 75% IN TEMPERATURE IF TERMINATIONS IN EQUIPMENT SUCH AS EXHAUST FANS, WATER HEATERS, AIR CONDITIONING UNITS, ETC. ARE RATED FOR 90% ONLY. THIS CONDUCTOR SHALL BE DE-RATED AND USED IN COMPLIANCE WITH TABLE 310-16 OF CURRENT N.E.C. AND SIZED FOR THE 80% CIRCULAR.
 - BRANCH CIRCUIT CONDUCTORS SHALL NOT BE SMALLER THAN NO. 12 AND WHERE BRANCH CIRCUIT CONDUCTOR RUNS FROM SOURCE (PANEL) TO THE LAST DEVICE ON THE CIRCUIT EXCEEDS 100 FT. IN LENGTH, THE CONDUCTOR SHALL BE SIZED FOR 75% IN TEMPERATURE. THE ABOVE APPLIES TO 120 VOLT CIRCUITS ONLY.
 - ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH OSHA, THE NATIONAL ELECTRICAL CODE AND LOCAL GOVERNING AUTHORITIES.



LIGHT FIXTURE SCHEDULE

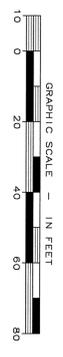
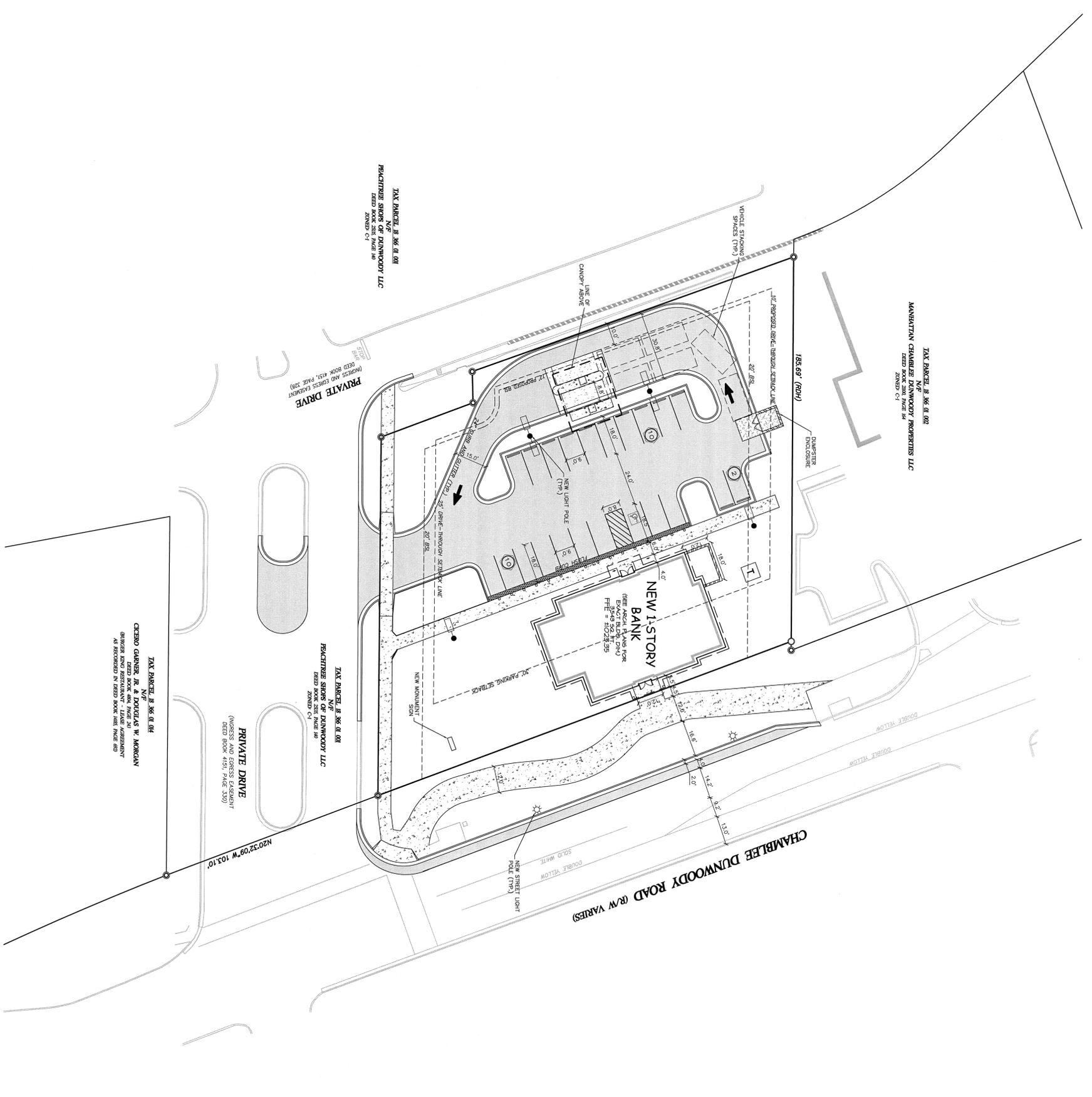
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	MOUNTING	LAMP TYPE	LUMENS	VOLTAGE	NOTES
041	LED. PARKING AREA - SINGLE HEAD	LITRONA	(1) CSX1-LED-000-700-40K-TM-120-SVA-FINISH	POLE	LED	15,479 lm	134 V	2, 3
042	LED. PARKING AREA - TRN HEAD	LITRONA	(2) CSX1-LED-000-700-40K-TM-120-SVA-FINISH	POLE	LED	32,659 lm	260 V	2, 3
081	LED. WALL PACK	LITRONA	CSW-LED-300-700-30K-TM-120-FINISH	WALL	LED	7,881 lm	60 V	1, 3
091	6" LED. DOWNLIGHT	LITRONA	EV0-30/20-50K-40-LS0-120	RECESSED	LED	2,812 lm	265 V	-
092	6" LED. DOWNLIGHT	LITRONA	EV0-40/30-50K-40-LS0-120	RECESSED	LED	4,048 lm	481 V	-

NOTES:
 1. COORDINATE MOUNTING HEIGHT AND LOCATION WITH THE ARCHITECT PRIOR TO BIDDING.
 2. PROVIDE A 25'-0" SQUARE STEEL POLE, UNDRUN (SS-25-40-UNDRUN-FINISH).
 3. COORDINATE FINISH WITH ARCHITECT PRIOR TO ORDERING.



LEGEND

- 1. EXIST. POWER POLE
- 2. EXIST. POWER POLE W/OUT WIRE
- 3. EXIST. POWER POLE W/OUT WIRE
- 4. EXIST. ELECTRICAL BOX OR TRANSFORMER
- 5. EXIST. WATER METER
- 6. EXIST. UNKNOWN UTILITY STRUCTURE
- 7. EXIST. TELEPHONE MANHOLE
- 8. EXIST. GAS VALVE
- 9. EXIST. GAS VALVE
- 10. EXIST. SANITARY SEWER MANHOLE
- 11. EXIST. SANITARY SEWER MANHOLE
- 12. EXIST. SANITARY SEWER MANHOLE
- 13. EXIST. SANITARY SEWER MANHOLE
- 14. EXIST. SANITARY SEWER MANHOLE
- 15. EXIST. SANITARY SEWER MANHOLE
- 16. EXIST. SANITARY SEWER MANHOLE
- 17. EXIST. SANITARY SEWER MANHOLE
- 18. EXIST. SANITARY SEWER MANHOLE
- 19. EXIST. SANITARY SEWER MANHOLE
- 20. EXIST. SANITARY SEWER MANHOLE
- 21. EXIST. SANITARY SEWER MANHOLE
- 22. EXIST. SANITARY SEWER MANHOLE
- 23. EXIST. SANITARY SEWER MANHOLE
- 24. EXIST. SANITARY SEWER MANHOLE
- 25. EXIST. SANITARY SEWER MANHOLE
- 26. EXIST. SANITARY SEWER MANHOLE
- 27. EXIST. SANITARY SEWER MANHOLE
- 28. EXIST. SANITARY SEWER MANHOLE
- 29. EXIST. SANITARY SEWER MANHOLE
- 30. EXIST. SANITARY SEWER MANHOLE
- 31. EXIST. SANITARY SEWER MANHOLE
- 32. EXIST. SANITARY SEWER MANHOLE
- 33. EXIST. SANITARY SEWER MANHOLE
- 34. EXIST. SANITARY SEWER MANHOLE
- 35. EXIST. SANITARY SEWER MANHOLE
- 36. EXIST. SANITARY SEWER MANHOLE
- 37. EXIST. SANITARY SEWER MANHOLE
- 38. EXIST. SANITARY SEWER MANHOLE
- 39. EXIST. SANITARY SEWER MANHOLE
- 40. EXIST. SANITARY SEWER MANHOLE
- 41. EXIST. SANITARY SEWER MANHOLE
- 42. EXIST. SANITARY SEWER MANHOLE
- 43. EXIST. SANITARY SEWER MANHOLE
- 44. EXIST. SANITARY SEWER MANHOLE
- 45. EXIST. SANITARY SEWER MANHOLE
- 46. EXIST. SANITARY SEWER MANHOLE
- 47. EXIST. SANITARY SEWER MANHOLE
- 48. EXIST. SANITARY SEWER MANHOLE
- 49. EXIST. SANITARY SEWER MANHOLE
- 50. EXIST. SANITARY SEWER MANHOLE
- 51. EXIST. SANITARY SEWER MANHOLE
- 52. EXIST. SANITARY SEWER MANHOLE
- 53. EXIST. SANITARY SEWER MANHOLE
- 54. EXIST. SANITARY SEWER MANHOLE
- 55. EXIST. SANITARY SEWER MANHOLE
- 56. EXIST. SANITARY SEWER MANHOLE
- 57. EXIST. SANITARY SEWER MANHOLE
- 58. EXIST. SANITARY SEWER MANHOLE
- 59. EXIST. SANITARY SEWER MANHOLE
- 60. EXIST. SANITARY SEWER MANHOLE
- 61. EXIST. SANITARY SEWER MANHOLE
- 62. EXIST. SANITARY SEWER MANHOLE
- 63. EXIST. SANITARY SEWER MANHOLE
- 64. EXIST. SANITARY SEWER MANHOLE
- 65. EXIST. SANITARY SEWER MANHOLE
- 66. EXIST. SANITARY SEWER MANHOLE
- 67. EXIST. SANITARY SEWER MANHOLE
- 68. EXIST. SANITARY SEWER MANHOLE
- 69. EXIST. SANITARY SEWER MANHOLE
- 70. EXIST. SANITARY SEWER MANHOLE
- 71. EXIST. SANITARY SEWER MANHOLE
- 72. EXIST. SANITARY SEWER MANHOLE
- 73. EXIST. SANITARY SEWER MANHOLE
- 74. EXIST. SANITARY SEWER MANHOLE
- 75. EXIST. SANITARY SEWER MANHOLE
- 76. EXIST. SANITARY SEWER MANHOLE
- 77. EXIST. SANITARY SEWER MANHOLE
- 78. EXIST. SANITARY SEWER MANHOLE
- 79. EXIST. SANITARY SEWER MANHOLE
- 80. EXIST. SANITARY SEWER MANHOLE
- 81. EXIST. SANITARY SEWER MANHOLE
- 82. EXIST. SANITARY SEWER MANHOLE
- 83. EXIST. SANITARY SEWER MANHOLE
- 84. EXIST. SANITARY SEWER MANHOLE
- 85. EXIST. SANITARY SEWER MANHOLE
- 86. EXIST. SANITARY SEWER MANHOLE
- 87. EXIST. SANITARY SEWER MANHOLE
- 88. EXIST. SANITARY SEWER MANHOLE
- 89. EXIST. SANITARY SEWER MANHOLE
- 90. EXIST. SANITARY SEWER MANHOLE
- 91. EXIST. SANITARY SEWER MANHOLE
- 92. EXIST. SANITARY SEWER MANHOLE
- 93. EXIST. SANITARY SEWER MANHOLE
- 94. EXIST. SANITARY SEWER MANHOLE
- 95. EXIST. SANITARY SEWER MANHOLE
- 96. EXIST. SANITARY SEWER MANHOLE
- 97. EXIST. SANITARY SEWER MANHOLE
- 98. EXIST. SANITARY SEWER MANHOLE
- 99. EXIST. SANITARY SEWER MANHOLE
- 100. EXIST. SANITARY SEWER MANHOLE



Grid North (GA West Zone)

LOCATION MAP

TAX PARCEL ID: 18 366 01 013

SITE AREA: 0.74 ACRES

DISTURBED AREA: ± 1.06 ACRES

SITE ZONING: C-1 (LOCAL COMMERCIAL DISTRICT)

BUILDING SETBACK LINES:

- FRONT YARD : 0-10 FEET BUILD TO ZONE
- SIDE YARD : BUILD TO ZONE; MINIMUM REQUIREMENTS OF 5 FEET PERCENT IN BUILD TO ZONE (50%)
- REAR YARD : 30 FEET

BUILDING SUMMARY:

- 1 STORY
- BUILDING HEIGHT: 25 FEET
- 1,343 SQUARE FEET

PARKING SUMMARY:

- REGULAR PARKING: PROVIDED
- HANDICAP PARKING: 21
- TOTAL PARKING SPACES: 11
- THREE SPACES PER 1000 SQUARE FEET OF GROSS FLOOR AREA

LOT COVERAGE CALCULATIONS

- TOTAL SITE AREA = 32,369 SF (0.74 AC)
- EXISTING PERVIOUS AREA = 1,927 SF (0.04 AC)
- IMPERVIOUS AREA = 30,439 SF (0.70 AC)
- NEW PERVIOUS AREA = 13,963 SF (0.31 AC)
- IMPERVIOUS AREA = 16,993 SF (0.43 AC)
- NEW LOT COVERAGE = 58.1%

SLIP REQUESTS

1. A SPECIAL LAND USE PERMIT IS REQUIRED FOR AN INCREASE IN MAXIMUM PARKING SPACES FROM 11 TO 22.
2. A SPECIAL LAND USE PERMIT FOR THE INCREASE IN THE MAXIMUM AREA BETWEEN FACE OF BUILDING AND SIDEWALK.

SUNTRUST

The Samuel Group

ARCHITECTURE ■ PLANNING ■ INTERIORS

6887 GEORGETOWN DRIVE
ATLANTA, GEORGIA 30328
TEL: 404.233.8110
FAX: 404.233.7229

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770)416-7511
Fax: (770)416-9759
www.trustspulld.com

PREPARED BY: David J. Bumenthal
CSWCC Level II Certification No. 0000013061
Expiration Date: 08/23/2018

THESE ARE NO STATE WITHIN 200 FEET OF THE SITE.

THERE ARE NO OBSTRUCTIONS ON THE SITE.

THE PROJECT IS A 1.343 SQ. FT. 1 STORY BANK BUILDING WITH 21 HANDICAP PARKING SPACES AND 11 TOTAL PARKING SPACES. THE PROJECT IS SCHEDULED TO BE COMPLETED BY 08/23/2018.

PROJECT NAME: SUNTRUST BANK - DUNWOODY

PROJECT NUMBER: 162998

SCALE: 1"=20'

Seal/Signature

CSWCC 0000013061

David J. Bumenthal

TRANSPARENCY

DATE

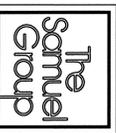
08/21/2018 URBAN SLIP PLAN

08/20/2018 REDUCED PROPOSED PARKING

DESCRIPTION

SITE PLAN

Sheet No. C11



ARCHITECTURE • PLANNING • INTERIORS
 8887 ALDENWOOD DRIVE
 SUITE 375
 ATLANTA, GEORGIA 30328
 TEL: 404.233.8110
 FAX: 404.233.7229

4317 Park Drive, Suite 400
 Norcross, Georgia 30093
 Phone: (770) 416-6799
 Fax: (770) 416-6799
 www.henrypratt.com



Date	Description
08/27/2016	UPDATED SLIP PLAN
08/30/2016	REDUCED PROPOSED PARKING

Seal / Signature

CSW/CJ 08/30/2016



DAVID J. BLUMENTHAL
 10/16

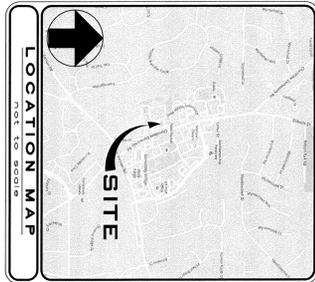
Project Name
 SUNTRUST BANK - DUNWOODY

Project Number
 1428088

Scale
 1"=20'

Description
 LANDSCAPE PLAN

Sheet No. C1.2



Grid North (GA West Zone)

PLANTING NOTES

- Size and grading standards of plant material shall conform to the latest edition of American Standard for Nursery Stock by the American Association of Nurserymen. Consultant shall contact the engineer if they encounter any site, existing conditions significantly different from the plan.
 - For new planting areas, contractor shall remove all pavement, gravel, and other materials from the site and replace with topsoil to a depth of 24" of topsoil, or amend the top 24" of existing soil to meet specifications, unless noted otherwise.
 - The planting soil for shrubs will consist of 33% ground pine bark humus, 33% topsoil, and 33% perlite. For trees, the planting soil shall consist of 33% topsoil, 33% perlite, and 33% ground pine bark humus. All amendments are required for trees, groundcover and perennial beds shall be prepared and amended according to specifications, and removed by the contractor from the root ball prior to backfill of planting hole.
 - Contractor shall remove top 1/3 of burlap from the root ball (depth) of clean plantation, unless noted otherwise.
 - All disturbed areas to be seeded with (bermuda) unless otherwise noted. All areas designated for sod must be fine graded, level any undulations or irregularities, while maintaining positive drainage. Hardscape and smooth, weathering on large surfaces. Contact the landscape architect for an inspection of the fine graded surface, prior to any sod installation.
 - All slopes exceeding 3:1 will be planted with grasses or shrubs.
- IRRIGATION NOTES**
- The contractor is to provide an irrigation system, submit a plan for an automatically controlled irrigation system to the owner or the owner's representative for review and approval. The system shall be designed to provide full and complete coverage to all undisturbed areas of the site indicated on the landscape plan.
 - All materials used in the design, including sprinkler heads, valves, valve drip equipment, wire, electrical connections, and PVC pipe and fittings, shall meet minimum industry standards. Manufacturer and model must be specified.

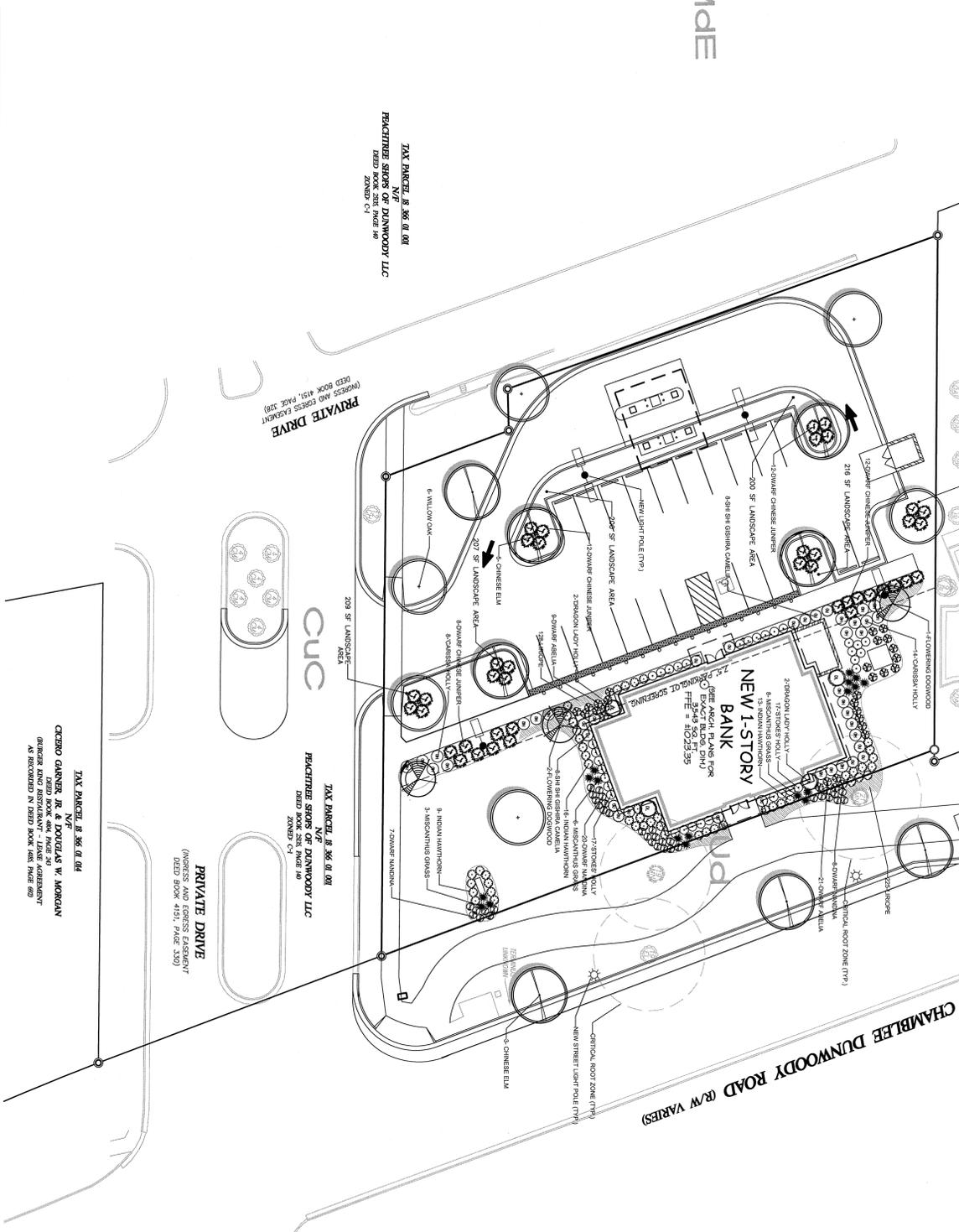
SITE CALCULATIONS

SITE AREA = 0.75 ACRES
 DENSITY = 0.75 X 20 = 15 TDU
 EXISTING TREES = 21
 PROPOSED TREES = 3.6 TDU
 6.4 + 3.6 = 10 TDU

PARKING LOT SCREENING
 101' OF VISIBLE STREET FRONTAGE
 30 SHRUBS / 100 FEET OF VISIBLE STREET FRONTAGE
 REQUIRED SHRUBS = 31
 PROVIDED SHRUBS = 33

STREET TREES
 201' OF STREET FRONTAGE
 1 TREE / 50 FEET OF STREET FRONTAGE
 PROVIDED TREES = 4 (1 EXISTING TREE)

NOTE: TREES WITHIN CLEARANCE LIMITS TO BE REMOVED EXCEPT THOSE THAT ARE NOT COVERED ON THIS PLAN. THEY MAY BE PRESENT ON THE PROJECT SITE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.



SYM	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
T0	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium
T1	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium
T2	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium

SYM	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
S1	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium
S2	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium

SYM	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
SH1	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium
SH2	Circle with dot	Quercus pedunculata	WILLOW OAK	5" dia	180	0	Medium



1-800-233-7411
 1000 Peachtree Street, N.E.
 Atlanta, GA 30309