

VARIANCE APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

Project #: _____ Date Received: _____

*** Type:**

Type of Request: Chapter 16-Streams Chapter 16-Other Chapter 20-Signs Chapter 27-Zoning
 Code section from which variance is sought: Chapter 27, Section 27-58
 Nature of Request: To reduce the rear yard set back from 40' to 28'-6" for expansion of an existing deck to construct an enclosed sunroom

*** Project:**

Name of Project / Subdivision: Gene & Amy Dandy TRUST Zoning: _____
 Property Address / Location: 5388 Trowbridge Drive
 District: 18th Land Lot: 374 Block: K Property ID: _____

*** Owner Information:**

Owner's Name: Gene & Amy Dandy TRUST
 Owner's Address: 5388 Trowbridge Drive
 Phone: (404) 931-9659 Fax: N/A Email: GA.Dandy1@Bellsouth.net

*** Applicant Information:** Check here if same as Property Owner

Contact Name: _____
 Address: _____
 Phone: _____ Fax: _____ Email: _____

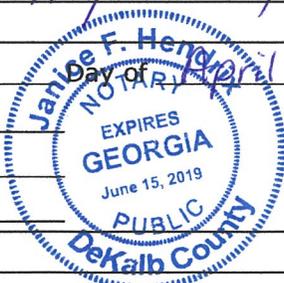
*** Terms & Conditions:**

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Zoning Ordinance) will result in the rejection of this application.

Applicant's Name: GENE DANDY
 Applicant's Signature: Gene Dandy Amy S. Dandy Date: 4/7/16

*** Notary:**

Sworn to and subscribed before me this 7th day of April, 2016
 Notary Public: Janice F. Hendrix
 Signature: Janice F. Hendrix
 My Commission Expires: June 15, 2019



*** Office Use:**

Application Fee Paid Sign Fee Paid (\$135 x number of signs required) Fee: \$ _____
 Payment: Cash Check CC Date: _____
 Approved Approved w/ Conditions Denied Date: _____

Property Owner(s) Notarized Certification



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The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

* Property Owner (If Applicable):

Owner Name: <u>GENE + AMY DANDY TRUST</u>
Signature: _____ Date: _____
Address: <u>5388 TROWBRIDGE DRIVE</u>
Phone: <u>404 931 9659</u> Fax: _____ Email: <u>gadandy1@bellsouth.net</u>
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public:

* Property Owner (If Applicable):

Owner Name: <u>GENE + AMY DANDY TRUST</u>
Signature: <u>Gene Dandy Amy L. Dandy</u> Date: <u>4/19/16</u>
Address: <u>5388 TROWBRIDGE DRIVE</u>
Phone: <u>404 931 9659</u> Fax: _____ Email: <u>gadandy1@bellsouth.net</u>
Sworn to and subscribed before me this <u>7th</u> Day of <u>April</u> , 20 <u>16</u>
Notary Public: <u>Janice F. Hendrix</u>



* Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public:

April 2, 2016

The Zoning Board of Appeals
City of Dunwoody Community Development Department
41 Perimeter Center East, Suite 250
Dunwoody, GA 30338

RE: Mr. & Mrs. Gene Dandy
5388 Trowbridge Dr.
Dunwoody, GA 30338
40' Rear Set Back Variance

Dear Board Member,

We are adjacent home owners of Mr. Gene Dandy, and have reviewed their plans to add a sun-room addition onto the back of their home. It is our understanding that Mr. & Mrs. Dandy are seeking a variance to allow their renovation project to encroach in the 40' set back by 11'-6".

We have no objections to the planned improvements to the property and the subsequent variance request.

Sincerely,



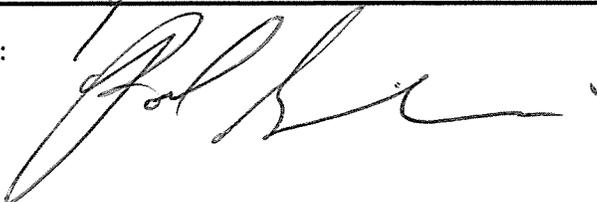
Name:

5388 Trowbridge Dr

Address:

Dunwoody, GA 30338

Signature:



April 2, 2016

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City of Dunwoody Community Development Department
41 Perimeter Center East, Suite 250
Dunwoody, GA 30338

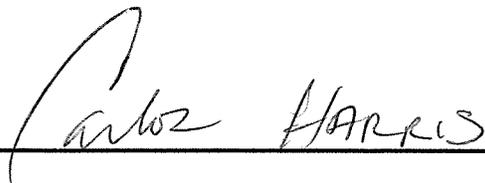
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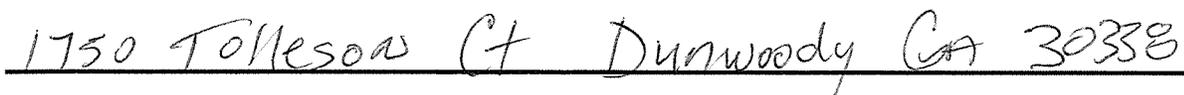
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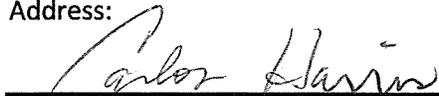
Sincerely,



Name:



Address:



Signature:



April 2, 2016

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City of Dunwoody Community Development Department
41 Perimeter Center East, Suite 250
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Sincerely,

Colleen Martenson

Name:

1741 Tolleson Court Dunwoody GA 30338

Address:

Colleen Martenson

Signature:

April 2, 2016

The Zoning Board of Appeals
City of Dunwoody Community Development Department
41 Perimeter Center East, Suite 250
Dunwoody, GA 30338

RE: Mr. & Mrs. Gene Dandy
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Sincerely,



Alfred F Bioust

Name:

5378 Trowbridge Drive

Address:

Alfred F Bioust

Signature:

Re: Legal description for
5388 Trowbridge Drive. Dunwoody GA. 30338

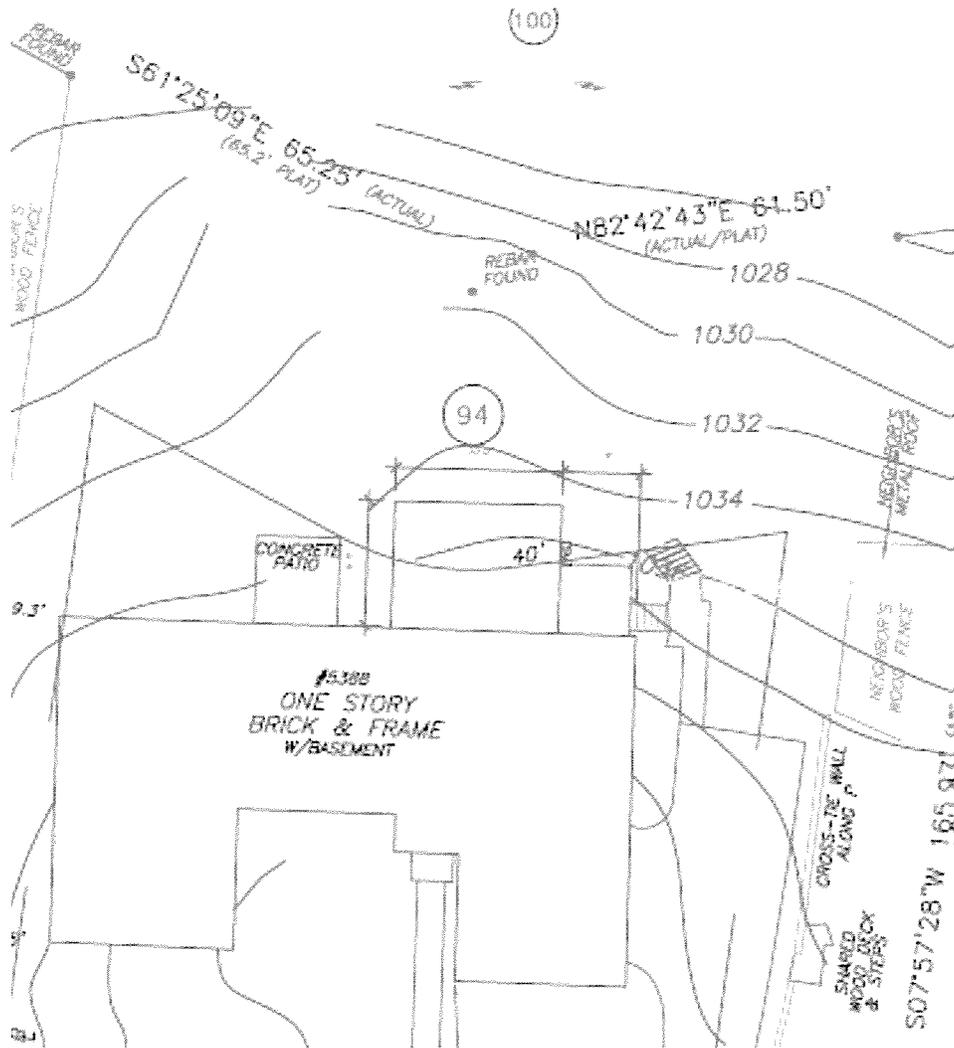
All that tract or parcel of land lying and being in Land Lot 374 of the 18th District Of Dekalb County, Georgia. Being lot 94, Block "K", Unit VIII Dunwoody Club Forest. As Per Plat by McClung Surveying Services, Inc. Prepared on 5-17-13

Letter of Intent for Zoning Variance

For 5388 Trowbridge Drive. Dunwoody GA. 30338

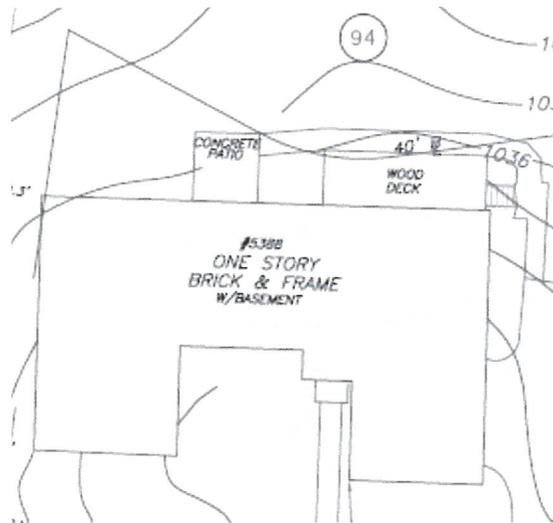
In order to build an enclosed sun-room on the back of 5388 Trowbridge Drive, we are seeking a variance request. Currently on the property there is a wood deck on the back of the house that already existed when we parched the home and extends into the 40' set back by 3'-6". We are proposing to build an enclosed sun-room 16' x 20'

- Requesting decrease of the back setback from 40' to 28'-6". The impervious surface will go from 27.5% to 29.5% after construction. – (Pre-construction 5,672/ 20,587sqft. / Post-construction 6072/20,587sqft.)



2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitation upon other properties in the zoning district in which the subject property is located.

- Due to the size and shape of the back property line of this lot and the fact that the existing wood deck already extends into the 40' set back, to change the design would give them an even smaller outdoor space than they already have.
- Since there are other properties adjacent to their property that has enclosed sun-rooms, we are not asking for any special privileges that are inconsistent with other similarly situated properties.



Examples of Sun-room extensions of adjacent neighbors

4. **The literal interpretation and strict application of the applicable provisions or requirements of this Chapter would cause undue and unnecessary hardship.**
 - Due to the size and shape of this lot, with its back property line shape and the position of the house on the property, the literal interpretation and strict application of this zoning ordinance would not allow the homeowner to have full access, use and enjoyment of their property.

5. **The requested variance would be consistent with the spirit and purpose of this Chapter and the City of Dunwoody Comprehensive Plan text and**
 - The request of the variance is consistent with both the spirit and purpose of the zoning ordinance and the City's plan for Suburban neighborhoods. This single-family residence which we are wishing to improve by adding a high-end rear sun-room built from long lasting materials to ensure sustainability will add value to the home and neighborhood.

6. **How although economic considerations may be taken into consideration as a hardship, they are not, of themselves, be the sole criteria upon which the applicant seeks the variance.**
 - The only way to build a rear sun-room addition or any addition, (Like the other neighbors enjoy) would be to move the house forward on the property, which would create an economic hardship.

Photos of 5388 Trowbridge Drive



Back Left Side

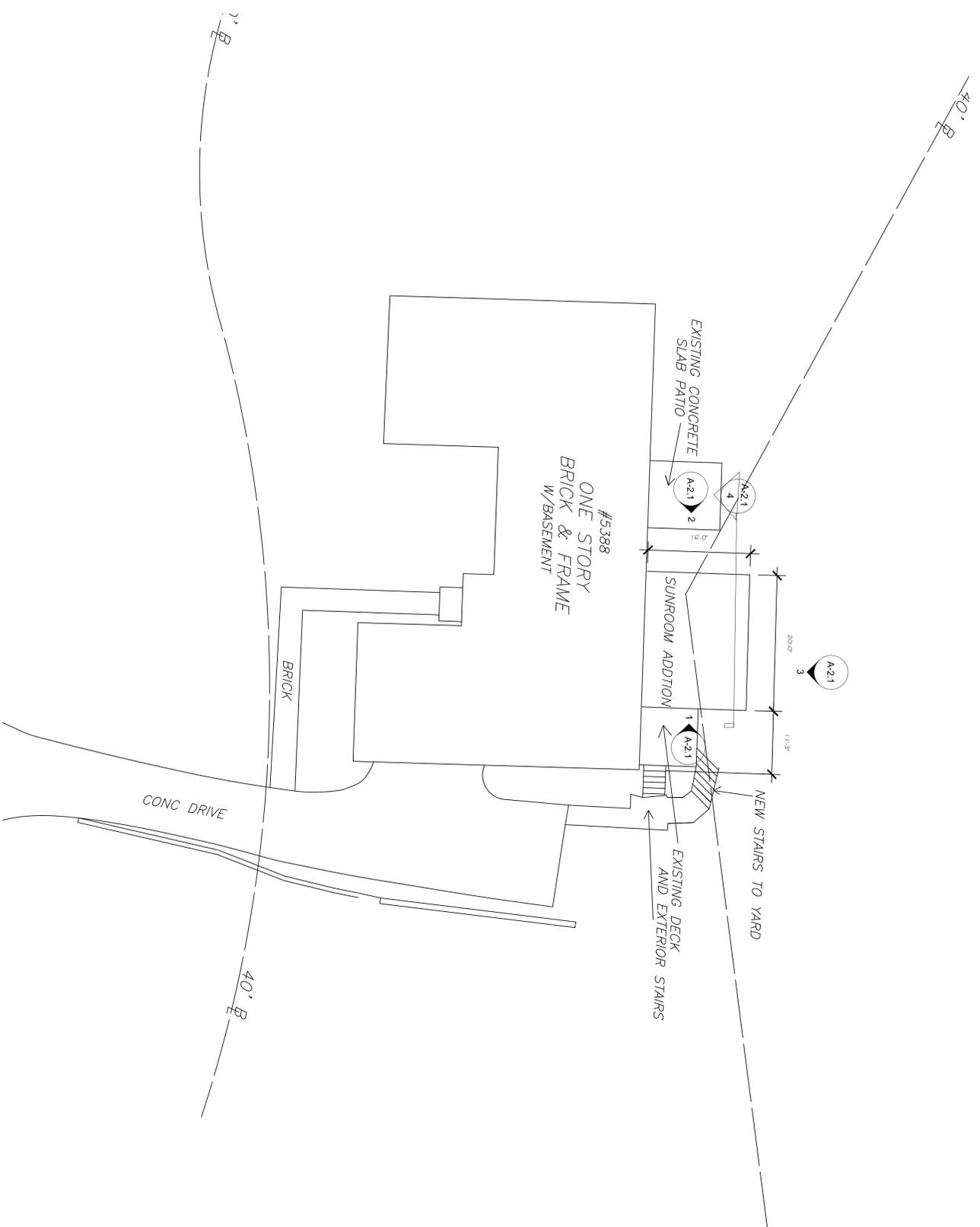


Back Right Side

View on Deck



View of walkway up to Left side of House



○ SITE PLAN
SCALE: 1" = 1'-0"

REVISIONS

NO.	DATE	REMARKS

DANDY RESIDENCE
5388 TROWBRIDGE DRIVE DUNWOODY GA.

2 SCALE SERVICES

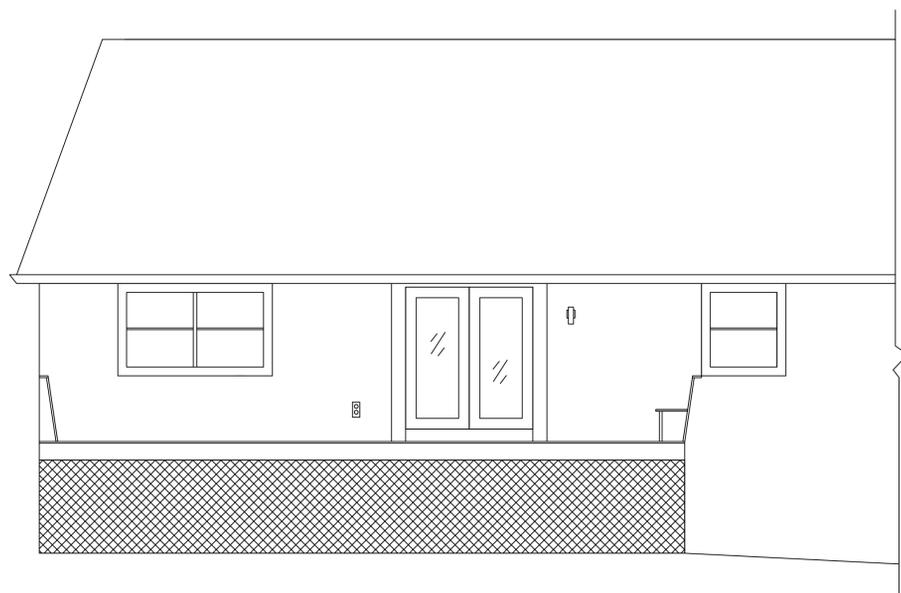
770.715.8216 TEL
RAY.2SCALE@COMCAST.NET

ISSUE DATE 03.28.2016
DRAWN BY RC

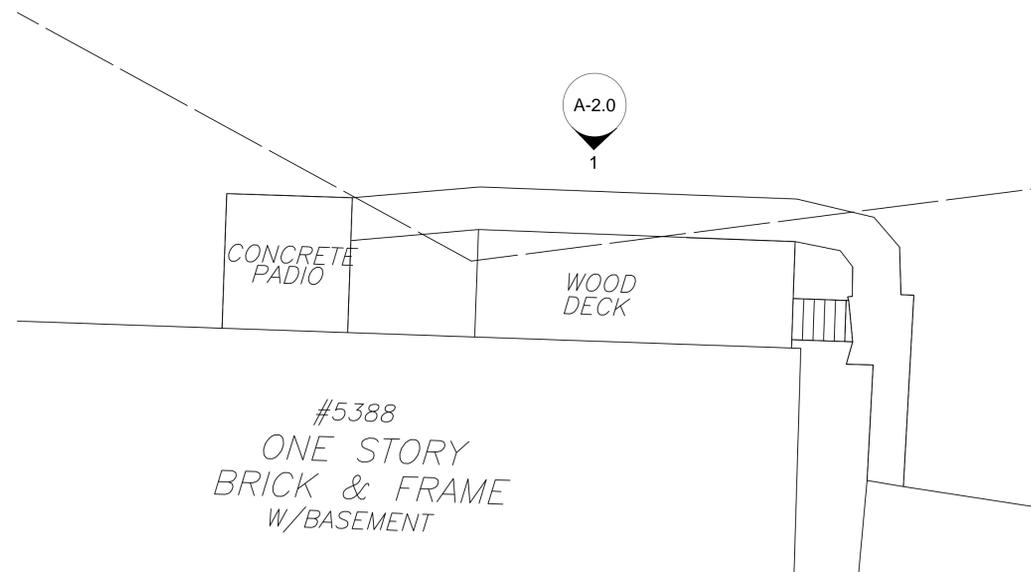
DANDY RESIDENCE
5388 TROWBRIDGE DRIVE
DUNWOODY, GA

PROPOSED
SUNROOM
ADDITION PLAN

SHEET NO.
A-1.0



○ AS BUILT
SCALE: 1/4" = 1'-0"



○ KEY PLAN FOR AS BUILT
SCALE: NTS

REVISIONS		
NO.	DATE	REMARKS

DANDY RESIDENCE
 5388 TROWBRIDGE DRIVE DUNWOODY GA.

2 SCALE SERVICES

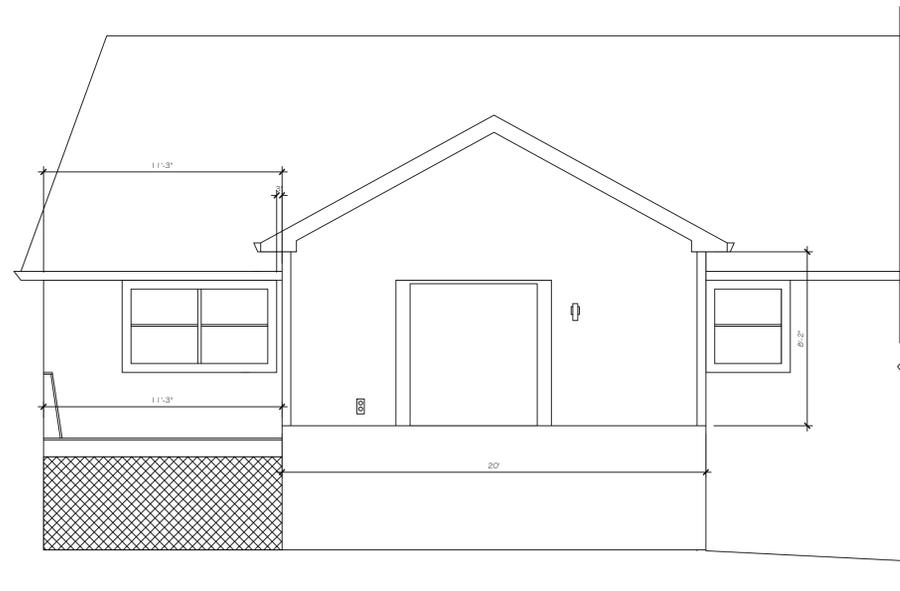
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DUNWOODY, GA

AS BUILT

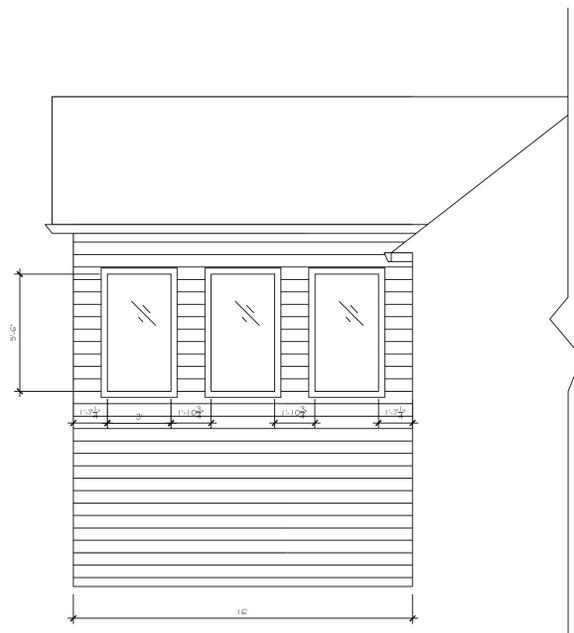
SHEET NO.
A-2.0



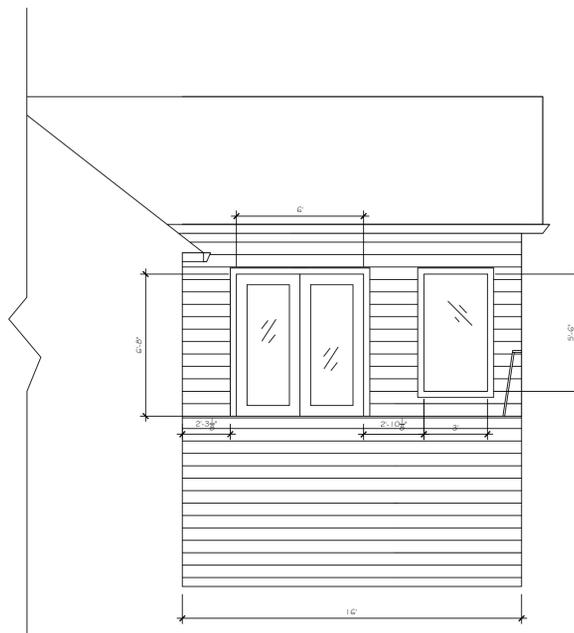
4 PROPOSED SECTION VIEW
SCALE: 1/4" = 1'-0"



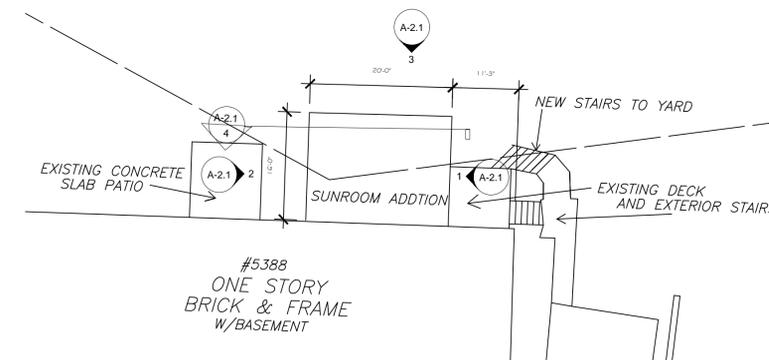
3 PROPOSED NORTH VIEW
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST SIDE VIEW
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST SIDE VIEW
SCALE: 1/4" = 1'-0"



KEY PLAN FOR PROPOSED SUNROOM ADDITION
SCALE: NTS

REVISIONS		
NO.	DATE	REMARKS

**DANDY
RESIDENCE**
5388 TROWBRIDGE DRIVE DUNWOODY GA.

2 SCALE SERVICES

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RAY.2SCALE@COMCAST.NET

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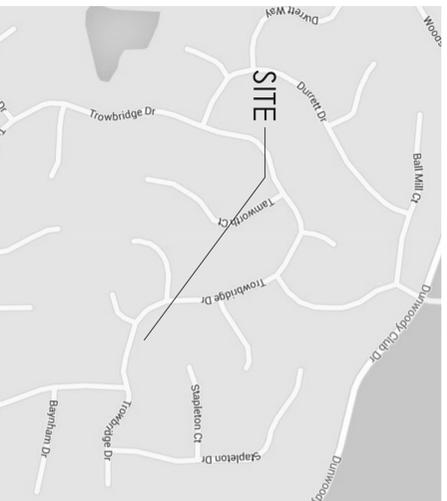
DRAWN BY RC

**DANDY
RESIDENCE**
5388 TROWBRIDGE DRIVE
DUNWOODY, GA

**SUNROOM
ADDITION
ELEVATIONS**

SHEET NO.

A-2.1



**LOCATION MAP
N.T.S.**

FLOOD NOTE:
BY GRAPHIC PLATING ONLY THIS SITE DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD MAP OF THE AREA. THE FIELD FLOOD MAP COMMUNITY PANEL NUMBER IS 12893 C 002A. PANEL BEARS AN EFFECTIVE DATE OF MAY 16, 2013.

NOTE:

NO GRADING SHALL BE PERFORMED DURING THE DEMOLITION PHASE OF THIS PROJECT. THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT OF WAY

ZONING

ZONING IS R-100
SEBACKS:
FRONT: 35'
REAR: 40'
SIDE: 10'

SITE ADDRESS

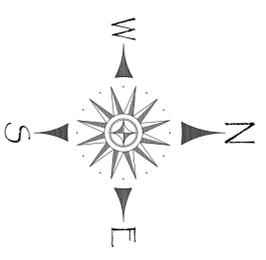
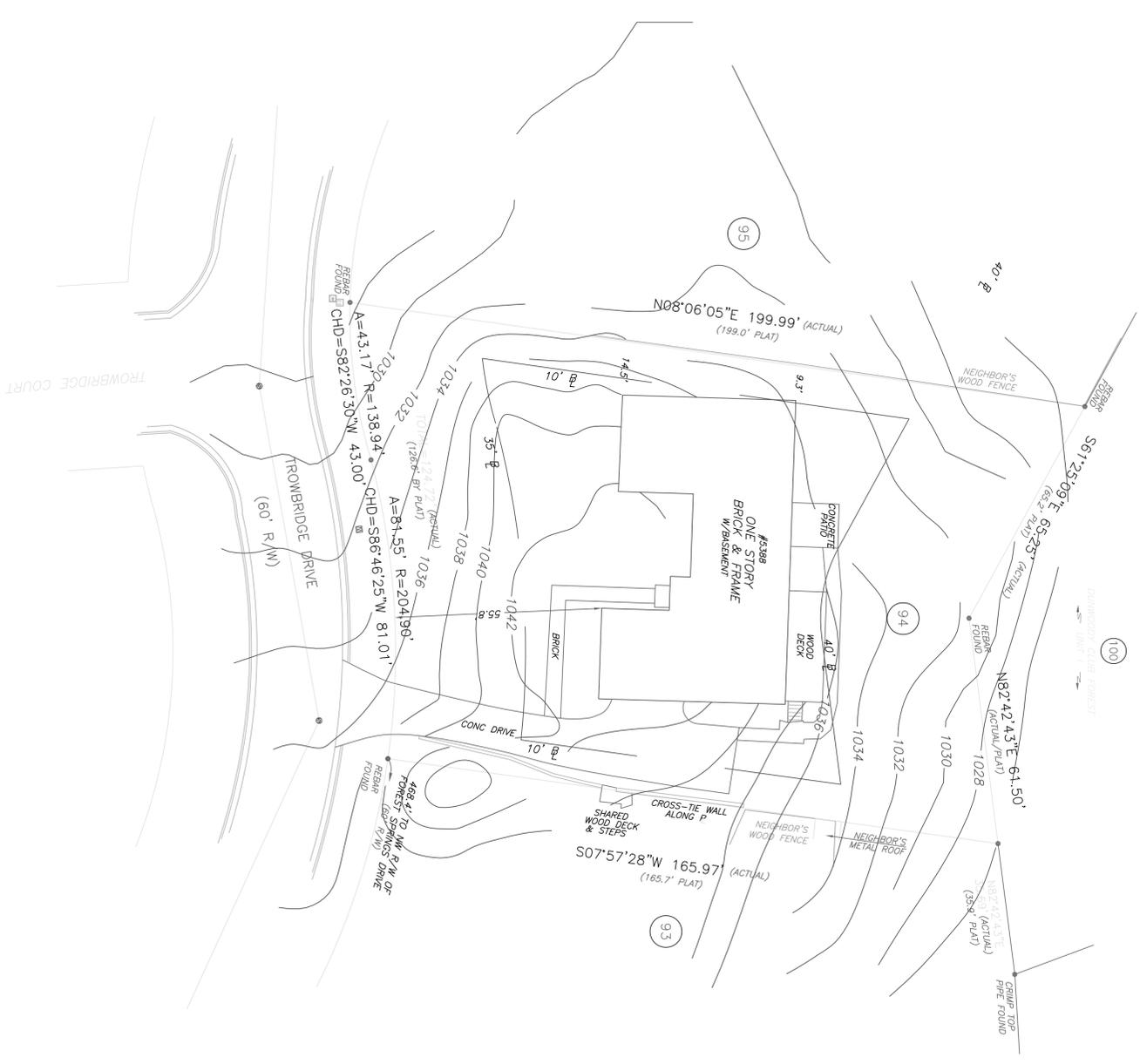
5388 TROWBRIDGE DRIVE
DUNWOODY, GEORGIA 30338

TOTAL AREA

0.473 ACRES
20,597 S.F.

UTILITY NOTE :

UTILITY LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN BY THIS SURVEYABLE CONDITIONS. THE BEST AVAILABLE INFORMATION HAS BEEN OBTAINED BY EACH UTILITY. PATERSON ENGINEERING COMPANY, IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE LOCATIONS. ALL UNDERGROUND UTILITIES ARE NOT SHOWN. PATERSON ENGINEERING COMPANY MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.
UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.
ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS.
ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.



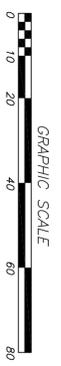
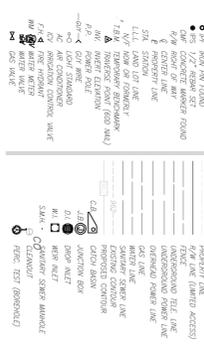
SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, PLEASE CALL ALL LOCAL UTILITY PROVIDERS.



2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET, AND AN ANGULAR ERROR OF 02" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET. LINEAR AND ANGULAR MEASUREMENTS WERE OBTAINED BY USING A TOPCON TOTAL STATION.
5. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
6. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
7. THIS PLAT NOT INTENDED FOR RECORDING.

LEGEND



DATE		BY
No.		
Revision		

AS BUILT SITE PLAN

Project No.	
Design By:	
Drawn By:	
Checked By:	
Date:	
Scale:	

ZONING EXHIBIT
FOR
5388 TROWBRIDGE ROAD
LOT 94, BLOCK K, DUNWOODY CLUB FOREST

LAND LOT 374 ~ 187th DISTRICT
CITY OF DUNWOODY, DeKALB COUNTY, STATE OF GEORGIA

Drawing No. **C-1**

SHEET 1 OF 2



**LOCATION MAP
N.T.S.**

FLOOD NOTE:
BY GRAPHIC PLATING ONLY THIS SHE DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD MAP OF THE AREA. THE FLOOD MAP COMMUNITY PANEL NUMBER IS 12899 C 005A, IN DEKALB COUNTY, GEORGIA (CITY OF DUNWOODY). PANEL BEARS AN EFFECTIVE DATE OF MAY 16, 2013.

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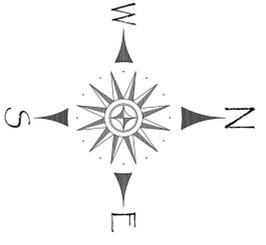
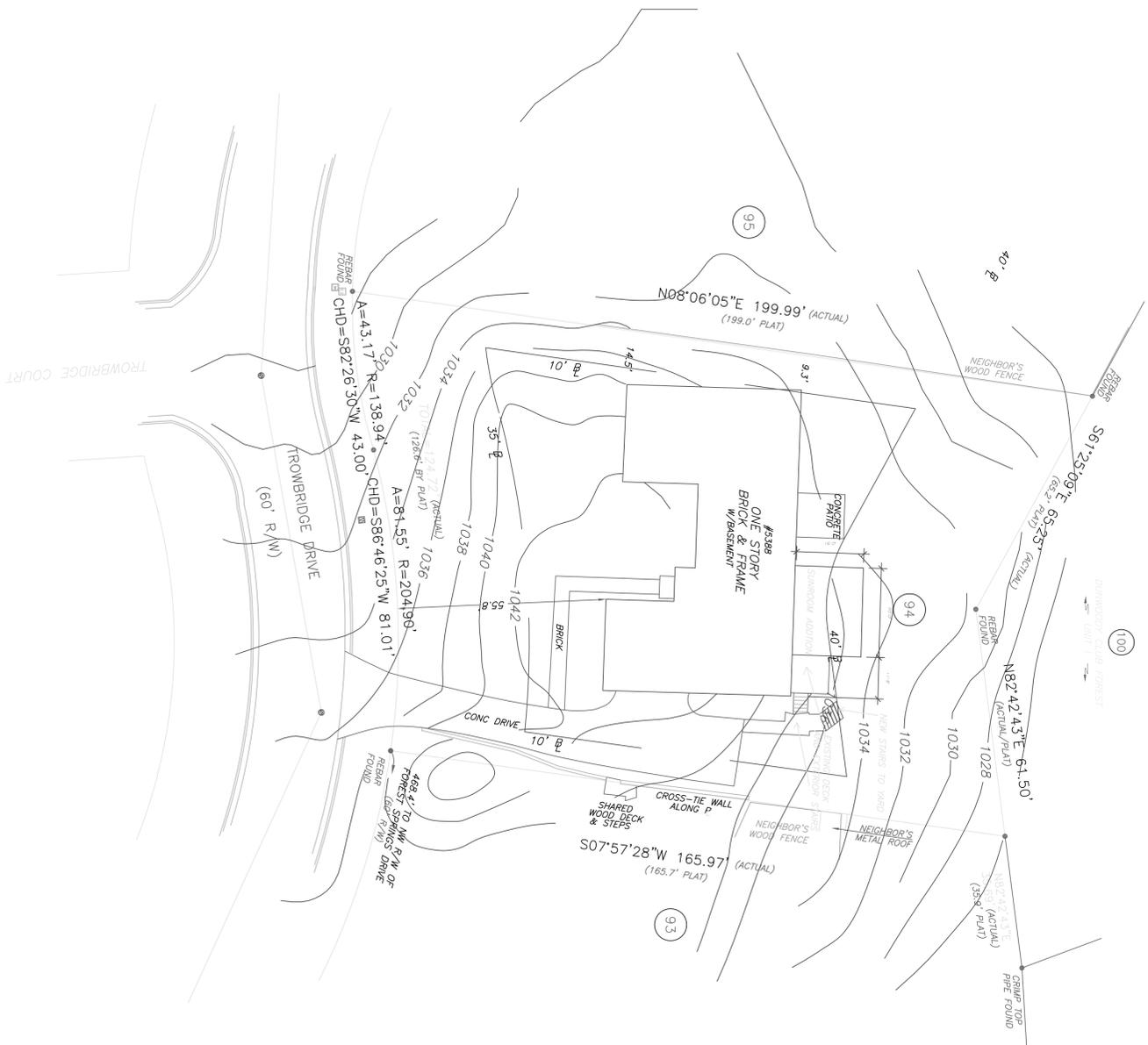
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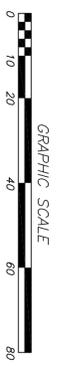
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LEGEND



PROPOSED ADDITION

DATE	BY	REVISION

Project No.:	
Design By:	
Drawn By:	
Checked By:	
Date:	
Scale:	

ZONING EXHIBIT
FOR
5388 TROWBRIDGE ROAD
LOT 94, BLOCK K, DUNWOODY CLUB FOREST
LAND LOT 374 ~ 187th DISTRICT
CITY OF DUNWOODY, DeKALB COUNTY, STATE OF GEORGIA

Drawing No. **C-2**
SHEET 1 OF 2