

SPECIAL LAND USE PERMIT APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

* Applicant Information:

Company Name:	SunTrust Bank c/o David Blumenthal				
Contact Name:	Vickie B. Chung, Smith, Gambrell & Russell, LLP				
Address:	1230 Peachtree St., NE, Ste. 3100, Atlanta, GA 30309				
Phone:	404-815-3620	Fax:	404-685-6920	Email:	dwebb@sgrlaw.com
Pre-application conference date (required):	_____				

* Owner Information: Check here if same as applicant

Owner's Name:	Dirk Laukien				
Owner's Address:	24 Waterway Ave., Ste. 225, The Woodlands, TX 77380				
Phone:	_____	Fax:	_____	Email:	_____

* Property Information:

Property Address:	5490 Chamblee Dunwoody Rd.	Parcel ID:	18-366-01-013
Zoning Classification:	C-1		
Requested Use of the Property:	Bank with Drive-thru		

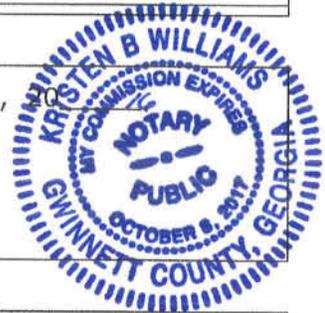
* Applicant Affidavit:

I hereby certify that to the best of my knowledge, this special land use application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name:	SunTrust Bank c/o David Blumenthal		
Applicant's Signature:		Date:	07/01/16

* Notary:

Sworn to and subscribed before me this	1 st	Day of	July
Notary Public:	KRISTEN B. WILLIAMS		
Signature:			
My Commission Expires:	October 8, 2017		



* Owner Affidavit:

I hereby certify that to the best of my knowledge, this special land use application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that the applicant(s) (if different) are authorized to act on my behalf, pursuant to this application and associated actions.

Property Owner's Name:	Dirk Laukien		
Property Owner's Signature:	_____	Date:	_____

* Notary:

Sworn to and subscribed before me this	_____	Day of	_____	, 20	_____
Notary Public:	_____				
Signature:	_____				
My Commission Expires:	_____				

Additional Property Owner(s) Notarized Certification



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* Property Owner (If Applicable):

Owner Name: <u>Dick Lukich</u>
Signature: _____ Date: <u>5/26/2016</u>
Address: <u>24 Westbury Ave Suite 225 The Woodlands TX 77380</u>
Phone: <u>832-813-7323</u> Fax: _____ Email: _____
Sworn to and subscribed before me this <u>26th</u> Day of <u>May</u> , 20 <u>16</u>
Notary Public: <u>Cynthia M. Kojak</u>

* Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public: _____

* Property Owner (If Applicable):

Owner Name: _____
Signature: _____ Date: _____
Address: _____
Phone: _____ Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____
Notary Public: _____

Gentle Touch Home Veterinary Care
 In-home visits for the comfort of your furry family members.

UPCOMING Mark your calendars

Join the Lunch & Learn Programs of PALS on Mondays beginning June 13 – July 25, 2016 from 10 a.m. – 3 p.m. at Dunwoody Baptist Church.

Classes offered are: the Constitution, Beautiful Geological Marvels, Mahjongg, Estate Planning, A History of the World in Six Glasses, Travel, Bridge, Current Events, and Local Parks and Gardening. Brochures are available at Dunwoody Baptist or by calling PALS at 770-698-0801. Enjoy great catered lunches, available with reservations.

the Dunwoody Library, 5339 Chamblee-Dunwoody Road, 770-512-4640. On Thursday, June 2, there will be a 1 p.m. special preview shopping for members of "Friends". Then, the sale is open to the public from 4-8 p.m. On

Friday and Saturday, June 3-4, the sale will be open 10 a.m. to 5 p.m. each day and closed on Sunday, June 5. Monday, June 6 from 10 a.m. to 8 p.m., will be "Bag Day" – fill a large grocery bag for \$6.

The sale will feature thousands of books-most priced from \$.25 to \$2.00. The sale includes 25,000 items: current hardback fiction, paperbacks, children's books, videos, CDs, DVDs, audio books, vinyl records, magazines, puzzles, and collectible books. And, there is a large selection of history, literature, travel, religion, self-help, home improvement, cookbooks, and large print books. All proceeds benefit the Dunwoody Library and the DeKalb Library System.

Be a Friend of the Dunwoody Library. Get tons of books at bargain prices, and support your library. Memberships start as low as \$5 per year.

are scheduled June 8 at 3 and 7 p.m. When the street urchin, Aladdin, vies for the attention of the beautiful princess, Jasmine, he uses a genie's magic power to become a prince in order to marry her. Iago, Jafar, the Genie and more are here in this musical adventure filled with magic, mayhem and the power of love. Donations at the door will support Performing Arts at Dunwoody United Methodist Church, 1548 Mt. Vernon Road, 770-394-0675.

Please join Choral Guild of Atlanta for its annual Summer Sing on Saturday, June 11 at 10 a.m. Singers of all voice parts are invited as we welcome Atlanta composer Curtis Bryant as guest clinician for this free event.

Come at 9:30 to meet the director and chorus members and enjoy refreshments.

St. Luke's Presbyterian Church, 1978 Mount Vernon Road. For more information, email info@cgatl.org or call 404-223-6362.

Registration is underway for the North DeKalb Blaze Track & Field Club's 2016 Outdoor Season.

Open to boys and girls ages 5 to 18, Blaze is a well-organized club that competes in AAU and USATF sanctioned events, including the National Junior Olympic Games. Events include sprints, middle distance running, race walking, jumping, throwing, relays and multi-events. Athletes learn proper technique, competition strategies, fitness tips, exercise routines, good nutrition, teamwork and sportsmanship. Practice is at North DeKalb Stadium on Chamblee-Dunwoody Road and meets are across metro-Atlanta, with regional and national meets at the end of the summer season.

Email northdekaldblazetrack@bell-south.net, call Coach Holmes at 678-472-3827 or visit league-lineup.com/blazetrack for a registration form.

The Friends of the Dunwoody Library book sale begins June 2 and continues through June 6 at

Habitat for Humanity | ReStore
 THE STORE THAT BUILDS HOMES AND HOPE

Shop Our Wide Selection of Items for Your Home.

18,000 sq. ft. of Furniture, Appliances, Home Decor, Building Supplies.

Great Prices! Great Cause!

www.suburbanatlantarestores.org
 3748 DeKalb Technology Pkwy, Doraville, GA 30349

The Marcus Jewish Community Center of Atlanta (MJCCA) is pleased to welcome the community to the Dunwoody Pool Day at the J, on Sunday, June 5, 12-2 p.m.

This pool party is open to all and free of charge. Kids and families can enjoy the MJCCA's beautiful Sherwin Glass Aquatic Center and Barbara and Ed Mendel Splash Park. The MJCCA is located at 5342 Tilly Mill Road, Dunwoody. Food and drinks will be available for purchase. For information, contact Rabbi Brian Glusman at 678-812-4161 or rabbi.glusman@atlantajcc.org.

Dunwoody Pool Day at the J highlights include games and activities, free prizes, face painting, music and dancing with DJ Sammy Rosenberg, free ice pops, splash park and lunch available for purchase.

Two performances of Aladdin, KIDS, the musical, presented by the Dunwoody United Methodist Church,

Emory Saint Joseph's Hospital will host the first annual "Run for Mercy 5K/1K" a family-friendly Peachtree Quaffier event, at 8 a.m., June 12. The race benefits Mercy Care, a network of 15 clinics providing health care services to those living in homelessness and poverty. Proceeds will also be used for the purchase of medical equipment for the new Mercy Care Chamblee clinic.

The "Run for Mercy 5K/1K" will kickoff in the Perimeter Place Shopping Center, 100 Perimeter Center Place.

To register for the "Run for Mercy 5K/1K," visit: emoryhealthcare.org/runformercy5k/.

PUBLIC NOTICE

SunTrust Bank intends to submit a Special Land Use Permit (SLUP) Application to the City of Dunwoody for development of a SunTrust Bank Branch at 5490 Chamblee Dunwoody Road. A SLUP application will be required to increase the maximum number of allowable parking spaces. The Applicant will be holding a neighborhood meeting to discuss the proposed SLUP application and to answer questions that you may have regarding the proposed development. Specific details regarding the Special Land Use Permit Application and Applicant-initiated meeting are below.

CASE NUMBER: TBD (this will be provided at the time the application is filed with the City)

APPLICANT NAME: Travis Pruitt and Associates, Inc. on behalf of SunTrust Bank

JURISDICTION: City of Dunwoody

ZONING: C-1 (Local Commercial) (Dunwoody Village Overlay District)

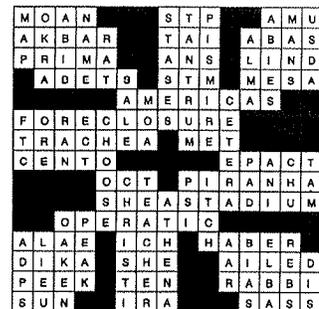
SLUP REQUEST: Increase the maximum number of parking spaces

STREET LOCATION: 5490 Chamblee Dunwoody Road

PROPOSED DEVELOPMENT: New SunTrust Bank Branch

MEETING TIME: June 22, 2016 from 6:00 PM to 8:00 PM

MEETING LOCATION: 5486 Chamblee Dunwoody Road, Suite 8, Dunwoody, GA 30338



**DUNWOODY COMMUNITY MEETING HELD ON JUNE 22ND
FROM 6:00 TO 8:00 PM REGARDING THE 5490 CHAMBLEE
DUNWOODY ROAD PROPERTY UNDER CONTRACT TO BE
ACQUIRED BY SUNTRUST BANK FOR THE PURPOSE OF
BUILDING A SUNTRUST BANK BRANCH**

NAME OF PERSON ATTENDING Mary Cooper

ADDRESS OF PERSON ATTENDING 5145 Meadowcreek Dr.

COMMENTS: Many people in the community do not want a bank in this space. If SunTrust truly wants to be a part of the community - I recommend working with the community. Maybe they can help a restaurant get financing to go into the spot. This is SunTrust's chance to be a superstar and listen to the community. There is going to be a lot of backlash about a bank going there.

**DUNWOODY COMMUNITY MEETING HELD ON JUNE 22ND
FROM 6:00 TO 8:00 PM REGARDING THE 5490 CHAMBLEE
DUNWOODY ROAD PROPERTY UNDER CONTRACT TO BE
ACQUIRED BY SUNTRUST BANK FOR THE PURPOSE OF
BUILDING A SUNTRUST BANK BRANCH**

NAME OF PERSON ATTENDING RDN Wood

ADDRESS OF PERSON ATTENDING 1290 Mile Post Dr.

COMMENTS: I AM OPPOSED TO THE
PROPOSED VARIANCES.

_____ RDN Wood

Ditto: Maggie Semerara Welford

SIGN IN SHEET

**DUNWOODY COMMUNITY MEETING HELD ON JUNE 22ND
FROM 6:00 TO 8:00 PM REGARDING THE 5490 CHAMBLEE
DUNWOODY ROAD PROPERTY UNDER CONTRACT TO BE
ACQUIRED BY SUNTRUST BANK FOR THE PURPOSE OF
BUILDING A SUNTRUST BANK BRANCH**

NAME

ADDRESS

Elizabeth Craymer 1202 Winding Branch Cir.

Jim Martin 4634 Buckline Court

ROBERT WITTENSTEIN 1146 BORDEAU COURT

Susan Wittenstein "

Ashley Norred 5210 Pine Bark Ln.

ADRIENNE DUNCAN 2576 Briers North,

RON WOOD 1290 Mile Post Dr.

BOB BARNEW DUNWOODY

Mike Lowrey 5325 Manasset Ave

Malinda Belbutowski 5033 Trailridge Way

CARLA MASECAR 4570 KINGS DOWN WAY

SIGN IN SHEET

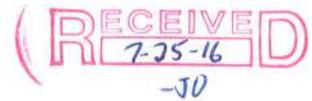
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ACQUIRED BY SUNTRUST BANK FOR THE PURPOSE OF
BUILDING A SUNTRUST BANK BRANCH**

NAME

ADDRESS

Kyle Lowell	1125 Hammond DR
Janeen Kelly	1125 Harmon Dr
Marcy Cooper	5145 Meadowcreek Dr.
McGainer	5268 Wintercreek Way
Dango Samwara WAREDS	5073 TRAILRIDGE way
John Heneghan	4624 Buckley Ct. 30328

Promenade, Suite 3100
1230 Peachtree Street, N.E.
Atlanta, Georgia 30309-3592
Main: 404 815-3500
Fax: 404 815-3509
www.sgrlaw.com



SMITH, GAMBRELL & RUSSELL, LLP
Attorneys at Law

Dennis J. Webb, Jr.
Direct Tel: (404) 815-3620
Direct Fax: (404) 685-6920
djwebb@sgrlaw.com

July 25, 2016

Via Hand Delivery

John Olson, City Planner
41 Perimeter Center East, Ste. 250
Dunwoody, GA 30346

Re: SunTrust Dunwoody - SLUP-16-091 / Add Variance

Dear John:

Following up on our meeting of July 19, 2016, I submit the attached to be included in the above-referenced file(s):

1. Color Rendering of Survey;
2. Color Rendering of Landscape Plan;
3. Floor Plan and Elevations (Elevations in Black and White and Color);
4. Lighting Submittal;
5. Sketches Showing Vehicle Turning for (a) the Proposed Configuration of the Site and (b) for the Site With the Drive Thru Lanes Meeting the Setback Requirements;
6. A Revised Site Plan That Better Shows the Setback Lines for the Proposed Configuration;
7. Revised Statement of Intent for the SLUP (Sidewalk SLUP removed).

As you know, the property at issue is .75 acres and zoned C-1. It contains a vacant, one-story, 4,200 square foot building that until recently housed the Old Hickory House Restaurant. The property contains 57 parking spaces, 26 of which are between the front of the building and Chamblee Dunwoody Road. The site has 2 curb cuts. It contains roughly 93% impervious surface. The front of the building (east) sits roughly 65' off of Chamblee Dunwoody. In the rear (west), the building is at its closest point 7.9' from the property line, so it is well into the rear yard setback. The western edge of the property is adjacent to a retaining wall of roughly 5-6 feet. West of that retaining wall is a 24' private driveway and then a parking field. The current property does not conform to the Dunwoody Village Overlay in any way.



John Olson, **City Planner**

July 25, 2016

Page 2

SunTrust currently has a bank branch in the area on Mt. Vernon Road. The hope is to relocate that branch to the Old Hickory House site; it is closing current location and reopening it on Chamblee Dunwoody, so it is not adding a new bank to the area. The new location will contain a single-story, 3,500 square foot building designed to the Overlay's architectural standards. Parking will be reduced from 57 spaces to 22, and all spaces will be located behind the building. The site will have only 1 curb cut. The front of the building will be setback only 5' from the front property line and 10' from the front sidewalk. The imperious surface will be reduced from 93% to 53%, which is well below the maximum allowed in the C-1 zoning district. Further, the building will conform to all required setbacks while the drive-thru canopy will be located 12' from the rear property line, as opposed to 7.9' for the existing building.

To allow for construction on the new site, SunTrust has asked, among other things, to reduce the setback for the drive-thru lanes from 25' to 10', reduce the rear yard setback from 30' to 12' to allow for drive-thru canopies, and to increase the parking spaces from the 11 allowed under the Overlay to 22 spaces. The Staff mentioned that if SunTrust did not ask to increase the parking, it may not need the setback variances. SunTrust took a look at that issue.

As a preliminary matter, I note that SunTrust will have 9 employees at the new location, which is the same number it now has at the current location. So, under the Overlay, it would be limited to only 2 customer parking spaces, and 1 of those must be a handicap space. The current location has 23 parking spaces. Hence, the parking maximum under the Overlay is unfeasible and presents a hardship in this case.

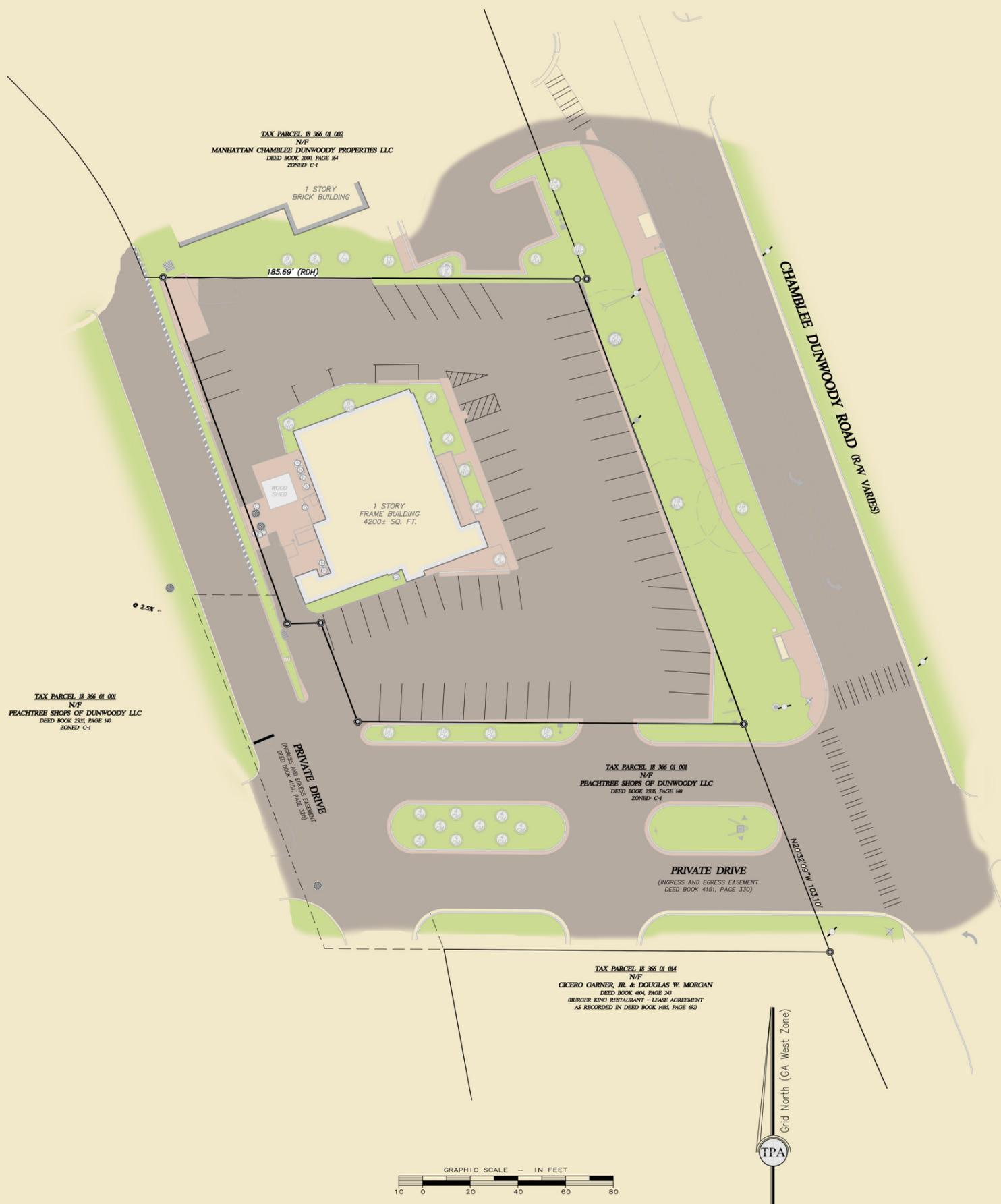
Nonetheless, SunTrust diagramed a scenario in which it removed the westernmost row of parking from the site plan originally submitted. That left it with 12 spaces which, as indicated above, is not enough. More importantly, however, the change negatively impacted circulation on the site. As you will see, moving the drive-thru lanes and the drive-thru canopy out of the setbacks pinched the turning radius, so a car turning into the easternmost of the 2 drive-thru lanes cannot maintain its lane. Instead, it will cross into the second, western lane, creating a hazard. The change also left less area for drive-thru stacking. As another diagram shows, these problems do not exist with the drive-thru configuration proposed.

Thanks,

A handwritten signature in blue ink, appearing to read "Dennis J. Webb, Jr.", written over the typed name below.

Dennis J. Webb, Jr.
Attorney

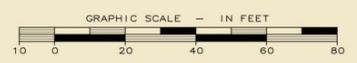
DJW/1177
Enclosures



EXISTING SITE



4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770)416-7511
Fax: (770)416-6759
www.travispruitt.com



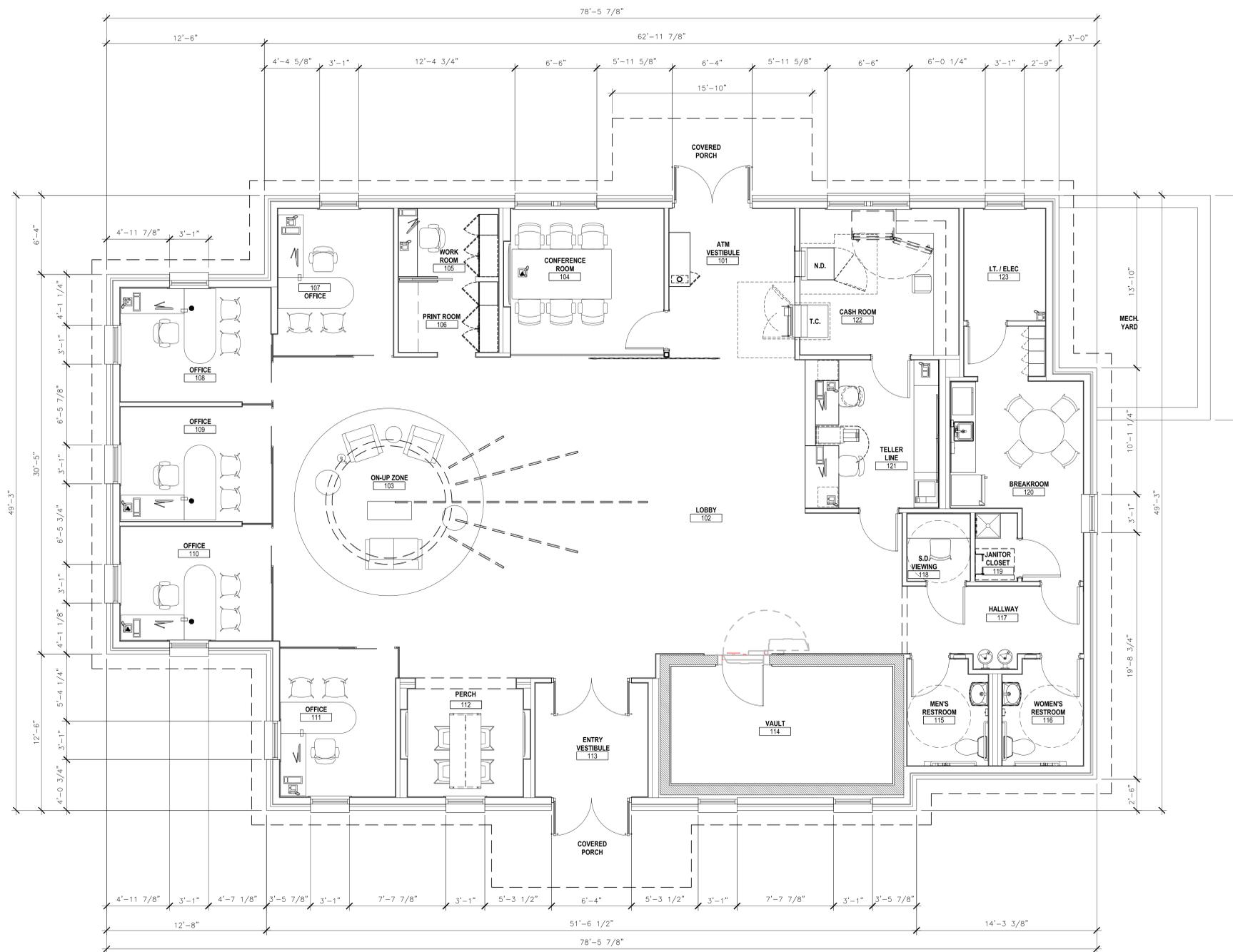
TREES							
SYM	Count	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
PD	5	Quercus phellos 'Hightower'	WILLOW OAK	3" cal	ball	at	Matching
AE	6	Ulmus parvifolia 'Atter'	ALLE ELM	3" cal	ball	at	Matching
SC	3	Cornus florida	Dogwood	2-2.5" cal	ball	at	

SHRUBS							
SYM	Count	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	NOTES
DL	4	Ilex x aquifolium 'Mascot'	DRAGON LADY HOLLY	7 gal	con	at	
LR	21	Abelia grandifolia 'Little Richard'	DWARF ABELIA	3 gal	con	at	
HI	48	Raphanistrum 'Georgia Charm'	INDIAN HAWTHORN	3 gal	con	3'oc	
HG	20	Juniperus chinensis 'Armstrong'	CHINESE JUNIPER	3 gal	con	4'oc	
FN	35	Nandina domestica 'Fire power'	FIRE POWER DWARF NANDINA	3 gal	con	2.5'oc	
CJ	17	Camellia japonica 'Shihai Gakko'	SHIHAI GAKKO CAMELIA	3 gal	con	3'oc	
CH	48	Ilex cornuta 'Cortina'	CARISSA HOLLY	3 gal	con	4' O.C.	
MG	17	Miscanthus sinensis 'Morning Light'	MAIDEN GRASS	3 gal	con	3'oc	
DH	34	Ilex ornata 'Stokes'	DWARF HOLLY	3 gal	con	3'oc	





ARCHITECTURE ■ PLANNING ■ INTERIORS
 5887 GLENRIDGE DRIVE
 SUITE 375
 ATLANTA, GEORGIA 30328
 TEL: 404.233.8110
 FAX: 404.233.7229



GENERAL NOTES

Date	Description
06/21/2016	ISSUE FOR REVIEW

LEGEND

Seal / Signature

Project Name

SUNTRUST BANK - DUNWOODY

Project Number

1629068

Scale

1/4" = 1'-0"

Description

CONSTRUCTION FLOOR PLAN

A02.01

+25'-0"
T.O. BALUSTRADE
+24'-0"
T.O. RIDGE
+23'-0"
T.O. BALUSTRADE
+22'-0"
T.O. RIDGE
+21'-0"
T.O. RIDGE

+12'-00"
T.O. PLATE

+0'-0"
FINISH FLOOR



PARKING ENTRANCE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

02

+25'-0"
T.O. BALUSTRADE
+24'-0"
T.O. RIDGE
+23'-0"
T.O. BALUSTRADE
+22'-0"
T.O. RIDGE
+21'-0"
T.O. RIDGE

+12'-00"
T.O. PLATE

+0'-0"
FINISH FLOOR



CHAMBLEE DUNWOODY ROAD ENTRANCE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

01

SHEET NOTES

GENERAL NOTES

LEGEND



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Date	Description
06/21/2016	ISSUE FOR REVIEW

Seal / Signature

Project Name

SUNTRUST BANK - DUNWOODY

Project Number

1629068

Scale

1/4" = 1'-0"

Description

EXTERIOR ELEVATIONS

A09.01



ARCHITECTURE ■ PLANNING ■ INTERIORS

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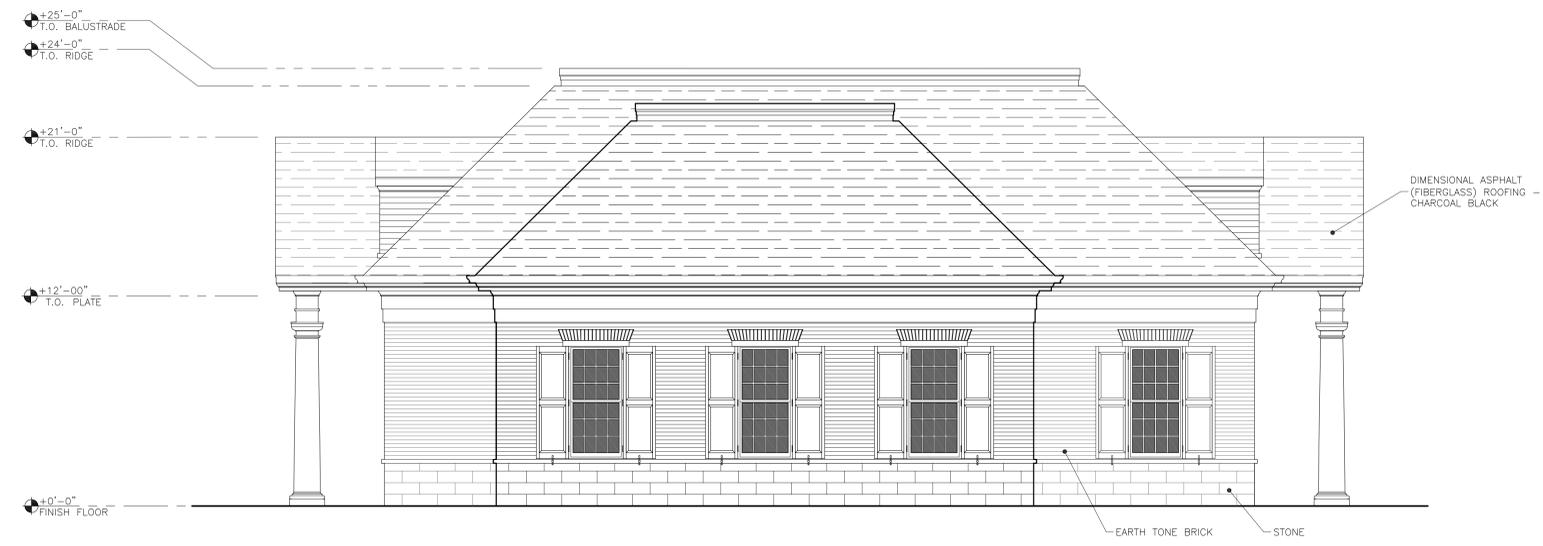


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

02

GENERAL NOTES

△	Date	Description
	06/21/2016	ISSUE FOR REVIEW



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

01

LEGEND

Seal / Signature

Project Name	SUNTRUST BANK - DUNWOODY
Project Number	1629068
Scale	1/4" = 1'-0"
Description	EXTERIOR ELEVATIONS

A09.02



ARCHITECTURE ■ PLANNING ■ INTERIORS

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TEL: 404.233.8110
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PARKING ENTRANCE (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

02

GENERAL NOTES

Date	Description
06/17/2016	ISSUE FOR REVIEW

LEGEND

Seal / Signature

Project Name

SUNTRUST BANK - DUNWOODY

Project Number

1629068

Scale

1/4" = 1'-0"

Description

EXTERIOR ELEVATIONS

A09.01



CHAMBLEE DUNWOODY ROAD ENTRANCE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

01



ARCHITECTURE ■ PLANNING ■ INTERIORS

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TEL: 404.233.8110
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"

02

GENERAL NOTES

Date	Description
06/17/2016	ISSUE FOR REVIEW



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

01

LEGEND

Seal / Signature

Project Name

SUNTRUST BANK - DUNWOODY

Project Number

1629068

Scale

1/4" = 1'-0"

Description

EXTERIOR ELEVATIONS

A09.02



July 25, 2016

The Samuel Group
5887 Glenridge Drive, Suite 375
Atlanta, Georgia 30328

Attention: Bart Sargent

**RE: SunTrust – Dunwoody Village, Dunwoody, GA
BWA Project No.: 16/8742**

Bart,

We have reviewed the current photometric study (attached) for the above project and offer the following comments. The areas on site that exceed the Dunwoody Village Overlay requirements are in direct relation to the National and State standards for Banking and Finance (see attached) as well as IESNA-G-1 (Illuminating Engineers Society of North America.) Areas that exceed the foot-candle (fc) requirements are the drive-thru canopy which contains an ATM and Teller Connect unit. These require a minimum of 10 fc at five feet from the unit and 2 fc at fifty feet. This does not meet the ordinance but is required by Georgia Code and IESNA. The Teller Connect unit also has a requirement for 40-50 fc at the front of the machine for proper operation per the attached manufacturer's instructions.

Due to the security involved with bank buildings, the IESNA recommends a minimum of 3 fc in the parking areas for a facility like this.

With the requirements listed above, it will not be possible to meet the Dunwoody Village lighting requirements. Bank buildings require more lighting than a typical retail building in certain areas. We also recognize that the light levels at the front door are high. We will reduce lighting level along the front (street side) of the building to meet the ordinance.

Best regards,

Jeff Williams

Jeff Williams
Bolden-Williams & Associates, Inc.

Bart Sargent

To: Bart Sargent
Subject: NCR Teller Connect Ambient Lighting Requirments

From: McKee, Dan [<mailto:Dan.McKee@ncr.com>]

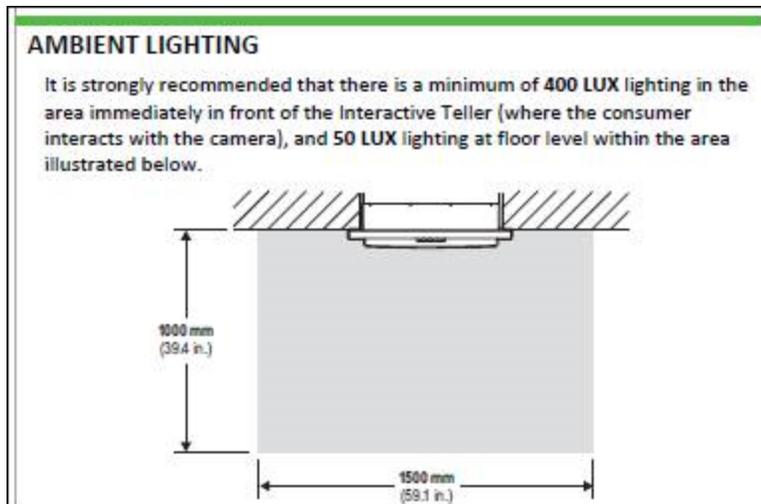
Sent: Thursday, March 24, 2016 9:01 AM

To: Manookian.Vickie

Subject: RE: Action Item Follow Up

Hello Vickie –

Jim asked that I reach out to you to discuss the lighting requirements around the Teller Connect ITMs. Attached is the Site Prep Guide. If you go to page 5-1, on the bottom of the right-most column is the following graphic with verbiage. Calling for 400 LUX in front of the machine is intended to help the camera. That minimum level of light should be sufficient for the camera to get a good image of the consumer's face to aid in proving identification.



The 6632 & 6638 Site Prep Guides have the same graphic and information, and also on page 5-1 of their respective Site Prep Guides.

If you have any questions, please do not hesitate to contact me.

Regards,
Dan



Dan McKee
Solution Manager
NCR Corporation
tel.: +1 (678) 808-5663
address: 3097 Satellite Blvd., Duluth GA 30096
dan.mckee@ncr.com | www.ncr.com

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	MOUNTING	LAMP TYPE	LUMENS	WATTAGE	NOTES
0A1	L.E.D. PARKING AREA - SINGLE HEAD	LITHONIA	(1) CSX1-LED-60C-700-40K-T4M-120-SPA-FINISH	POLE	LED	16,479 lm	134 W	2, 3
0A2	L.E.D. PARKING AREA - TWIN HEAD	LITHONIA	(2) CSX1-LED-60C-700-40K-T4M-120-SPA-FINISH	POLE	LED	32,958 lm	268 W	2, 3
0B1	L.E.D. WALL PACK	LITHONIA	CSXW-LED-30C-700-30K-T3M-120-FINISH	WALL	LED	7,981 lm	69 W	1, 3
0D1	6" L.E.D. DOWNLIGHT	LITHONIA	EVO-30/25-6AR-MD-LSS-120	RECESSED	LED	2,612 lm	29.5 W	-
0D2	6" L.E.D. DOWNLIGHT	LITHONIA	EVO-40/40-6AR-MD-LSS-120	RECESSED	LED	4,046 lm	48.1 W	-

NOTES:

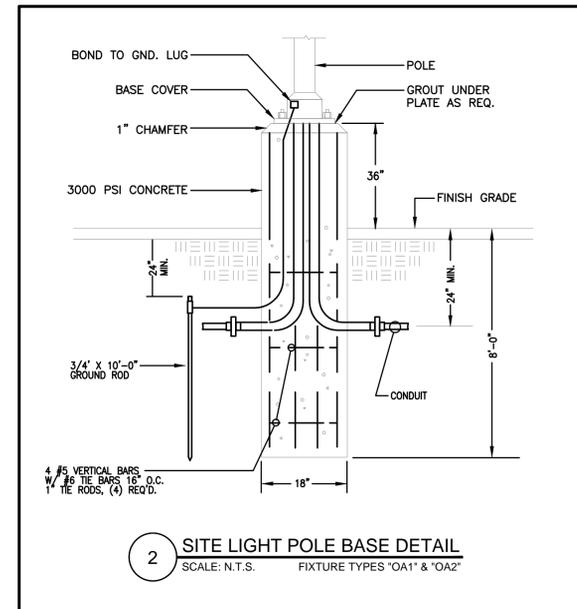
- COORDINATE MOUNTING HEIGHT AND LOCATION WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE A 25'-0" SQUARE STEEL POLE, LITHONIA #SSS-25-4C-DM19AS-FINISH.
- COORDINATE FINISH WITH ARCHITECT PRIOR TO ORDERING.

ELECTRICAL LEGEND

○	LED DOWN LIGHT FIXTURE, CEILING MOUNTED, TYPE INDICATED.
⊙	LED WALL MOUNTED FIXTURE, TYPE INDICATED.
■	LED PARKING LOT POLE FIXTURE, TYPE INDICATED.

ELECTRICAL GENERAL NOTES

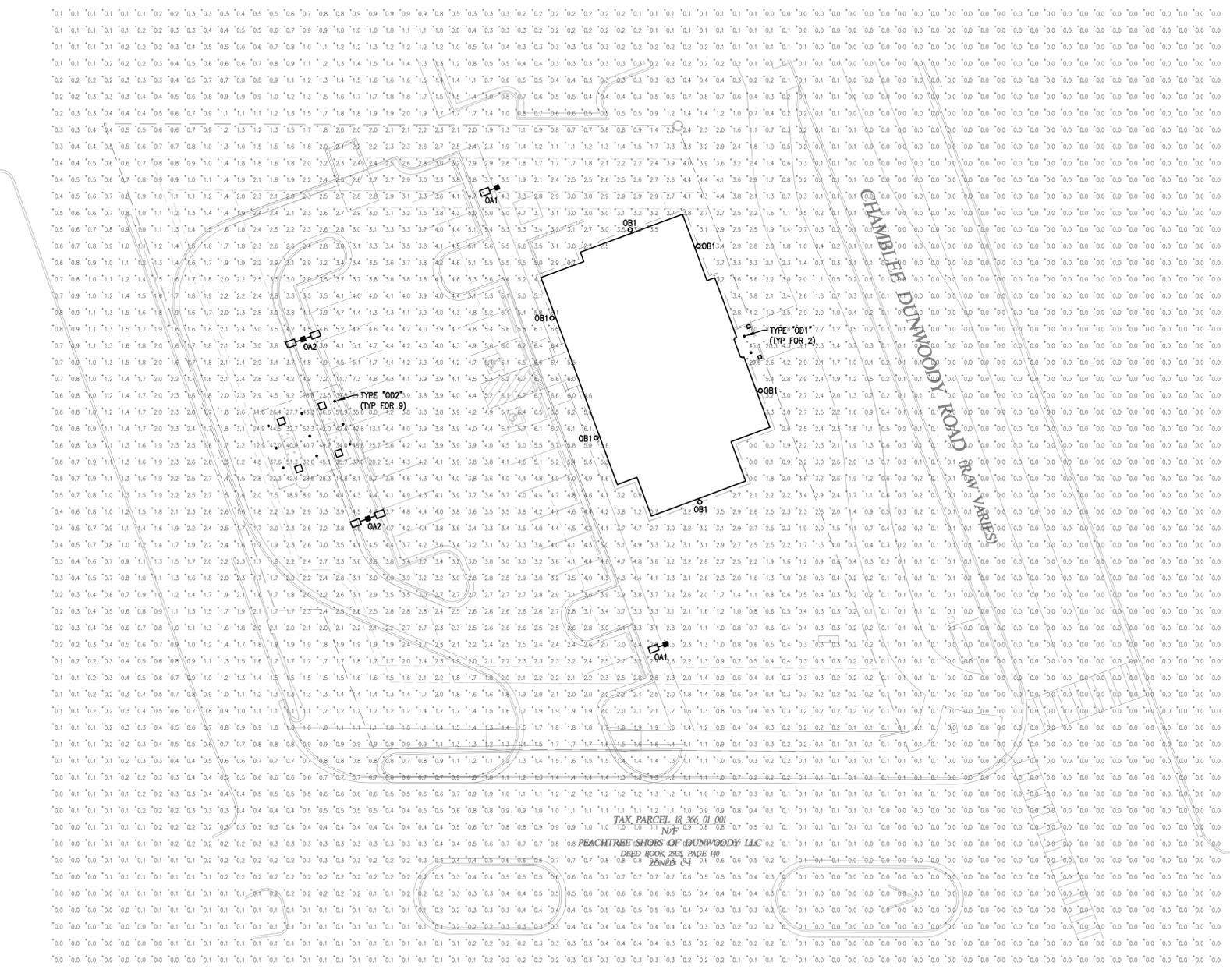
- DRAWINGS ARE DIAGRAMMATIC ONLY. EXACT LOCATIONS, MOUNTING HEIGHTS OF EQUIPMENT AND ROUTING OF RACEWAYS SHALL BE COORDINATED WITH THE EQUIPMENT REQUIREMENTS AND FIELD CONDITIONS. REFERENCE COMPLETE CONSTRUCTION DOCUMENTS (ARCHITECTURAL, MECHANICAL, PLUMBING, PATTERSON DENTAL EQUIPMENT, ETC.) PRIOR TO COMMENCING WORK FOR ADDITIONAL INFORMATION AND REQUIREMENTS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S/ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH WORK.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE ELECTRICAL WORK COMPLETE AND READY FOR OPERATION. CONTRACTOR SHALL PROVIDE CONNECTIONS TO OWNER, CONTRACTOR, OR OTHER PARTY'S EQUIPMENT AND DEVICES, UNLESS OTHERWISE NOTED. ON THE DAY OF DENTAL EQUIPMENT INSTALLATION, THE ELECTRICIAN MUST BE ON SITE TO MAKE FINAL CONNECTIONS WHERE NECESSARY.
- THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED PROJECT TO INSPECT THE EXISTING CONDITIONS AND DETERMINE THE SCOPE OF HIS WORK AND THE EXTENT OF DEMOLITION. THE SITE INSPECTION SHALL BE MADE PRIOR TO SUBMITTING BID FOR THE PROPOSED PROJECT. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL INFORM ARCHITECT PRIOR TO BIDDING OF DISCREPANCIES WHICH EXIST BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- WIRE AND CONDUIT SIZE INDICATED ON HOMERUNS SHALL BE CONTINUOUS THROUGH CIRCUIT.
- A GROUNDING CONDUCTOR SHALL BE INCLUDED IN EACH RACEWAY OR CABLE, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- TERMINATIONS (LUGS, TERMINAL BLOCKS, ETC.) IN CIRCUIT BREAKERS, DISCONNECT SWITCHES, LIGHTING CONTACTORS, RELAYS, PANEL BOARDS, TIME SWITCHES, ETC. SHALL BE RATED FOR 75C IN TEMPERATURE. IF TERMINATIONS IN EQUIPMENT SUCH AS EXHAUST FANS, WATER HEATERS, AIR CONDITIONING UNITS, ETC. ARE RATED FOR 90C ONLY, THEN CONDUCTORS MUST BE DE-RATED AND USED IN COMPLIANCE WITH TABLE 310-16 OF CURRENT N.E.C. AND SIZED FOR THE 90C COLUMN.
- BRANCH CIRCUIT CONDUCTORS SHALL NOT BE SMALLER THAN NO. 12 AND WHERE BRANCH CIRCUIT CONDUCTOR RUNS FROM SOURCE (PANEL) TO THE LAST DEVICE ON THE CIRCUIT EXCEEDS 100 FT. IN LENGTH, THE CONDUCTOR SHALL BE NO. 10 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. FOR RUNS OVER 200 FT. IN LENGTH THE CONDUCTOR SHALL BE NO. 8 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. THE ABOVE APPLIES TO 120 VOLT CIRCUITS, ONLY.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH OSHA, THE NATIONAL ELECTRICAL CODE AND LOCAL GOVERNING AUTHORITIES.



2 SITE LIGHT POLE BASE DETAIL
SCALE: N.T.S. FIXTURE TYPES "0A1" & "0A2"

ELECTRICAL SITE PLAN

SCALE: 1"=20'-0"



1 ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

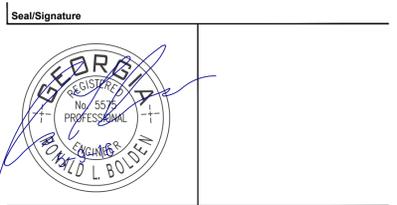


ARCHITECTURE ■ PLANNING ■ INTERIORS

5887 GLENRIDGE DRIVE
SUITE 375
ATLANTA, GEORGIA 30328
TEL: 404.233.8110
FAX: 404.233.7229

BOLDEN-WILLIAMS & ASSOCIATES, INC.
3066 HIGHWAY 29 SOUTH, LAWRENCEVILLE, GEORGIA 30044
(T) 770.279.0413 (F) 770.925.4263
(BWA PROJECT NO: 16/8742)

Issue	Date & Issue Description	By	Check
00	05/09/2016	MTF	JBW
ISSUED FOR PERMIT			



Project Name	SUNTRUST BANK - DUNWOODY 5490 CHAMBLEE DUNWOODY ROAD DUNWOODY, GEORGIA
Project Number	1629068
CAD File Name	8742-E1.DWG
Description	

Scale
AS NOTED

SunTrust New Banking Center - Dunwoody Branch - 5490 Chamblee Dunwoody Rd., Dunwoody, GA 30338



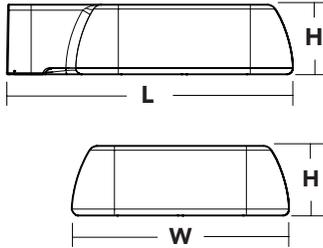
CSX1 LED LED Area Luminaire



CONTOUR
Series

Specifications

EPA:	0.7 ft ² (0.07 m ²)
Length:	23-1/2" (59.7 cm)
Width:	18-1/2" (46.9 cm)
Height:	5-7/8" (14.9 cm)
Weight (max):	37 lbs (16.8 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

The CSX1 combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing traditional metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

CSX1 LED	60C							
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)
CSX1 LED	60C 60 LEDs	700 700 mA 1000 1000 mA (1 A)	40K 4000 K 50K 5000 K	T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket Shipped Separately² SPUMBA Square pole universal mounting adaptor ³ RPUMBA Round pole universal mounting adaptor ³ KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴	Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ⁵ DMG 0-10V dimming driver (no controls) ⁶ HS House-side shield ² SF Single fuse (120, 277, 347V) ⁷ DF Double fuse (208, 240, 480V) ⁷ DS Dual switching ^{8,9} ZELED Emergency LED secondary source (2 modules) battery pack (-20°C min. operating temperature) BL30 Bi-level switched dimming, nominal 30% ^{9,10} BL50 Bi-level switched dimming, nominal 50% ^{9,10} Shipped separately² VG Vandal guard BS Bird-deterrent spikes	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Drilling

Template #8

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹¹
SCU	Shorting cap ¹¹
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴
PUMBA DDBXD U*	Round and square pole universal mounting bracket adaptor (specify finish)
CSX1HS U	House-side shield (includes 2 shields)
CSX1VG U	Vandal guard accessory
CSX1BS U	Bird-deterrent spikes accessory

CSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit [Lithonia Lighting's POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- 1.5 G vibration load rating per ANCI C136.31.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745.
- Not available with 347 or 480V.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50% dimming capability via two independent drivers, each operating half the luminaire. Available with MVOLT and two light engines only. N/A with PER, DCR, DMG or ZELED.
- Requires an additional switched line.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60C	700 mA	134	T2M	15,590	3	0	3	116	15,687	3	0	3	117
			T3M	16,502	3	0	3	123	16,605	3	0	3	124
			T4M	16,479	2	0	3	123	16,582	3	0	3	124
			T5M	16,539	4	0	2	123	16,643	4	0	2	124
			TFTM	16,710	2	0	3	125	16,814	2	0	3	125
	1000 mA	209	T2M	21,048	3	0	3	101	21,180	3	0	3	101
			T3M	22,279	3	0	3	107	22,418	3	0	4	107
			T4M	22,248	3	0	4	106	22,387	3	0	4	107
			T5M	22,330	5	0	3	107	22,469	5	0	3	108
			TFTM	22,560	3	0	3	108	22,701	3	0	4	109

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSX1 LED 60C platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.83

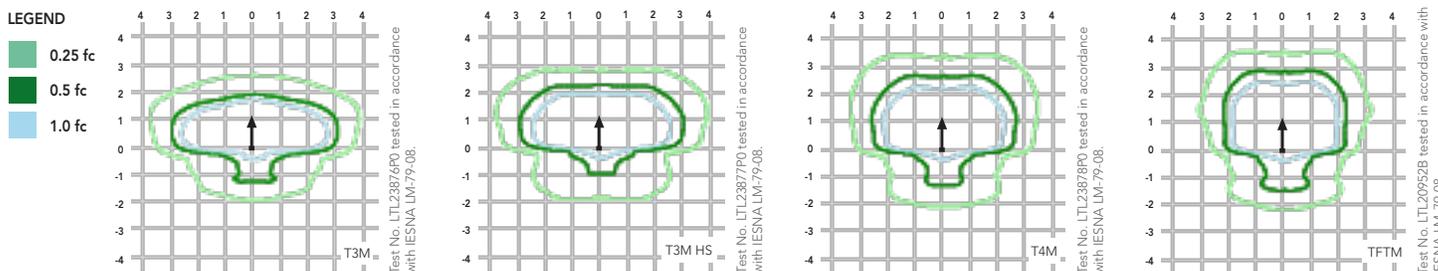
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
60C	700	134W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	209W	2.068	1.198	1.056	0.943	0.764	0.605

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSX1 homepage](#).

Isofootcandle plots for the CSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series LED area luminaire is ideal for streets, walkways, parking lots, and surrounding areas that call for high-performance LED lighting in a transitional dayform.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A metallic screen covers the top of the housing, preventing debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000 K (70 CRI) or optional 5000 K (67 CRI) configurations. The CSX1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engines consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver

designed to have a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 3.0 G vibration load rating per ANSI C136.31. The CSX1 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available. Available mast arm adapter accessory accepts horizontal tenons up to 2-3/8" O.D.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engines and luminaire are IP66 rated. **U.S. Patent No. D632830. U.S. Patent No. D653,382 S.**

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



O.C.G.A. § 7-8-3

GEORGIA CODE
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*** Current Through the 2016 Regular Session ***

TITLE 7. BANKING AND FINANCE
CHAPTER 8. SAFE USE OF REMOTE SERVICE TERMINALS

O.C.G.A. § 7-8-3 (2016)

§ 7-8-3. Date of compliance; provision of adequate lighting

(a) Each operator of a remote service terminal installed on or after July 1, 1993, shall comply with the provisions of this chapter commencing on the date the remote service terminal is installed. Compliance with the provisions of this chapter by operators as to remote service terminals existing as of July 1, 1993, shall be optional until July 1, 1994, and mandatory thereafter. This Code section shall apply to an operator of a remote service terminal only to the extent that the operator controls the access area or defined parking area to be lighted.

(b) If an access area or defined parking area is not controlled by the operator of the remote service terminal, and if the person who leased the remote service terminal site to the operator controls the access area or defined parking area, the person who controls the access area or defined parking area shall comply with the provisions of this chapter as to any remote service terminals installed on or after July 1, 1994, commencing on the date the remote service terminal is installed and as to any remote service terminal existing as of July 1, 1993, commencing no later than on July 1, 1994.

(c) The operator, owner, or other person responsible for the remote service terminal shall provide lighting during the hours of darkness with respect to an open and operating remote service terminal and any defined parking area, access area, and the exterior of an enclosed remote service terminal installation according to the following standards:

(1) There shall be a minimum of ten candlefoot power at the face of the remote service terminal and extending in an unobstructed direction outward five feet;

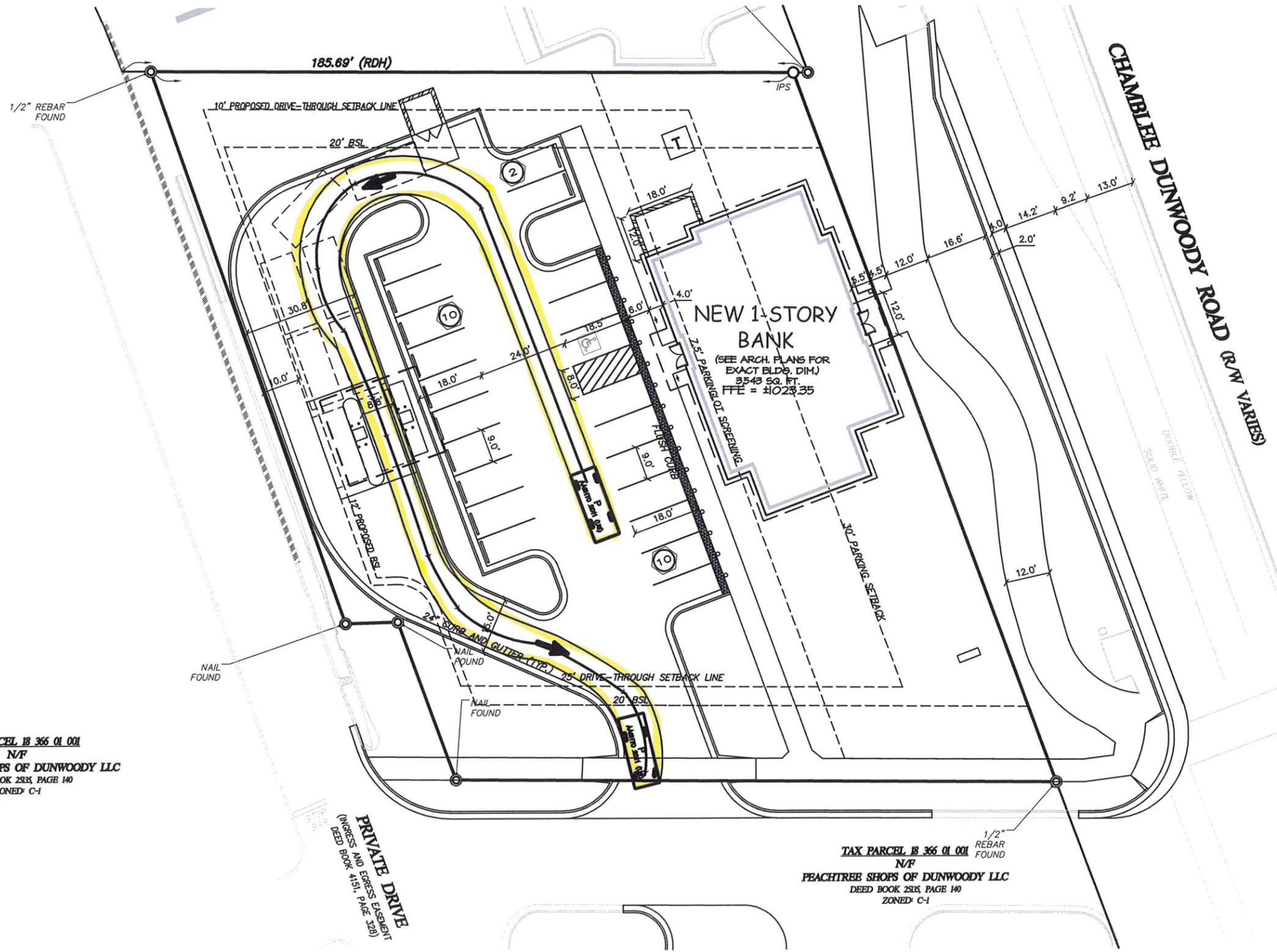
(2) There shall be a minimum of two candlefoot power within 50 feet from all unobstructed directions from the face of the remote service terminal. In the event the remote service terminal is located within ten feet of the corner of the building and the remote service terminal is generally accessible from the adjacent side, there shall be a minimum of two candlefoot power along the first 40 unobstructed feet of the adjacent side of the building; and

(3) There shall be a minimum of two candlefoot power in that portion of the defined parking area within 60 feet of the remote service terminal.

HISTORY: Code 1981, § 7-8-3, enacted by Ga. L. 1993, p. 917, § 12.

Title Note

Chapter Note



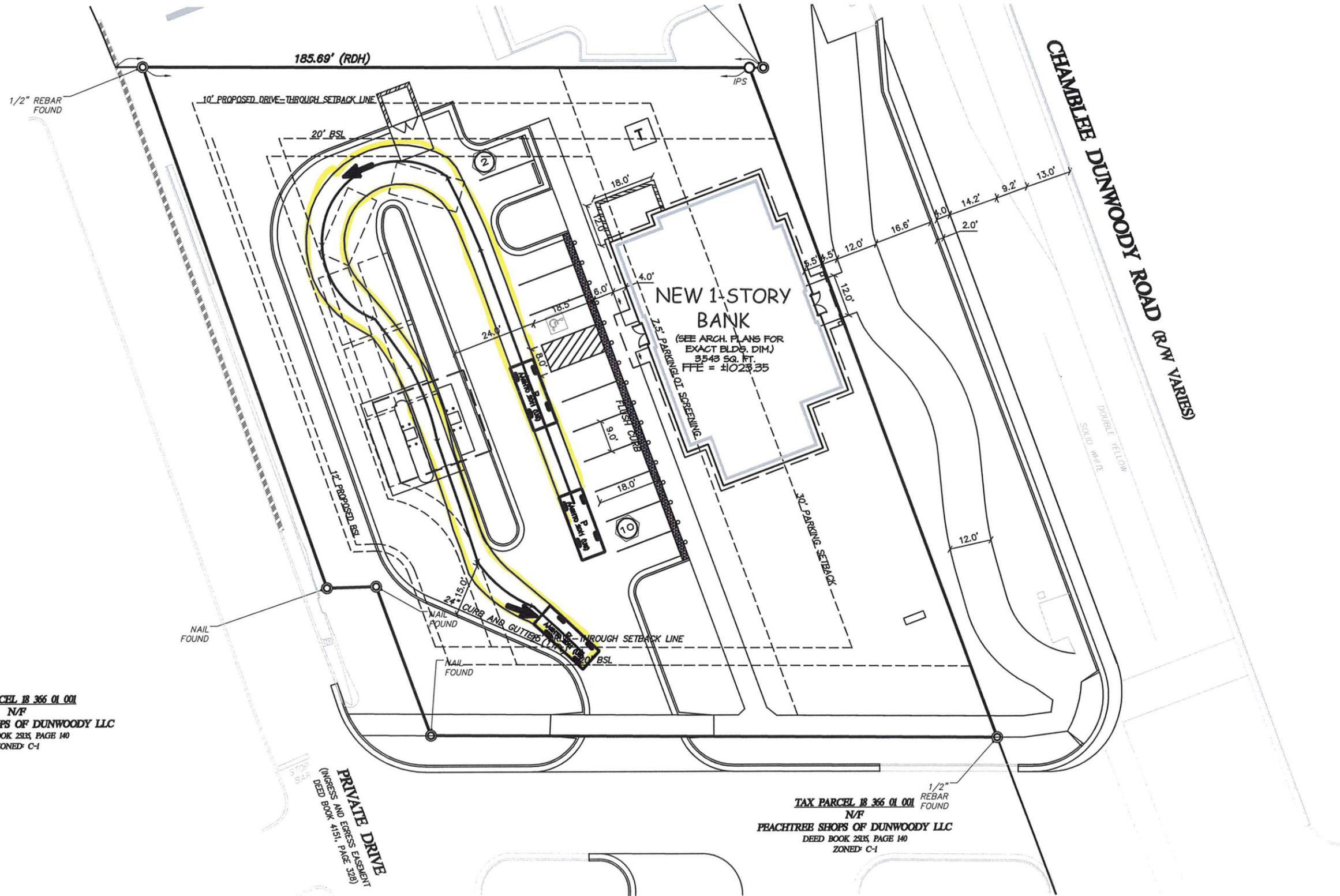
CHAMBLEE DUNWOODY ROAD (R/W VARIES)

TAX PARCEL # 366 01 001
 N/F
 PEACHTREE SHOPS OF DUNWOODY LLC
 DEED BOOK 2533, PAGE 140
 ZONED: C-1

PRIVATE DRIVE
 (ADDRESS: 1410 E. PEACHTREE EASTMENT
 DEED BOOK 2533, PAGE 140)

TAX PARCEL # 366 01 001
 N/F
 PEACHTREE SHOPS OF DUNWOODY LLC
 DEED BOOK 2533, PAGE 140
 ZONED: C-1

1" = 30'



CHAMBLEE DUNWOODY ROAD (RW VARIES)

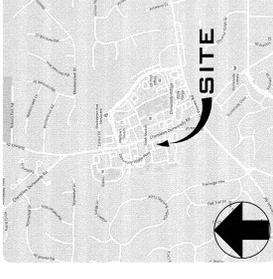
NEW 1-STORY BANK
 (SEE ARCH. PLANS FOR EXACT BLDG. DIM)
 3543 SQ. FT.
 FFE = 4023.35

TAX PARCEL # 366 01 001
 N/F
 PEACHTREE SHOPS OF DUNWOODY LLC
 DEED BOOK 2513, PAGE 140
 ZONED: C-1

TAX PARCEL # 366 01 001
 N/F
 PEACHTREE SHOPS OF DUNWOODY LLC
 DEED BOOK 2513, PAGE 140
 ZONED: C-1

PRIVATE DRIVE
 (ADDRESS AND EGRESS EASEMENT)
 DEED BOOK 3008, PAGE 141-142

1" = 30'



ARCHITECTURE ■ PLANNING ■ INTERIORS

5857 GLENVIEW DRIVE
SUITE 1225
ATLANTA, GEORGIA 30328
TEL: 404.232.8110
FAX: 404.233.7229

TAX PARCEL ID: 18 366 01 013

SITE AREA:
0.74 ACRES
± 1.06 ACRES

DISTURBED AREA:
± 1.06 ACRES

SITE ZONING: C-1 (LOCAL COMMERCIAL DISTRICT)
(DUNWOODY VILLAGE OVERLAY DISTRICT)

BUILDING SETBACK LINES:
FRONT YARD : 0-10 FEET BUILD TO ZONE
SIDE YARD : BUILD TO ZONE; MINIMUM REQUIREMENTS
OF BLDG. PERCENT IN BUILD TO ZONE (80%)
REAR YARD : 30 FEET

BUILDING SUMMARY:
1-STORY
BUILDING 3,543 SQUARE FEET
BUILDING HEIGHT: 25 FEET

PARKING SUMMARY:
REGULAR PARKING: 11
HANDICAP PARKING: 21

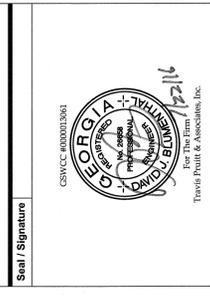
LOT COVERAGE CALCULATIONS:
TOTAL SITE AREA = 32,256 SF (0.74 AC)
EXISTING IMPERVIOUS AREA = 1,927 SF (0.04 AC)
NEW IMPERVIOUS AREA = 30,429 SF (0.70 AC)

EXISTING:
PERVIOUS AREA = 1,927 SF (0.04 AC)
IMPERVIOUS AREA = 30,429 SF (0.70 AC)

NEW:
PERVIOUS AREA = 1,363 SF (0.31 AC)
IMPERVIOUS AREA = 18,993 SF (0.43 AC)
NEW LOT COVERAGE = 58.1%

SLIP REQUESTS:
1. A SPECIAL LAND USE PERMIT IS REQUIRED FOR AN INCREASE IN MAXIMUM PARKING SPACES FROM 11 TO 22.
2. A SPECIAL LAND USE PERMIT FOR THE INCREASE IN THE MAXIMUM AREA BETWEEN FACE OF BUILDING AND SIDEWALK.

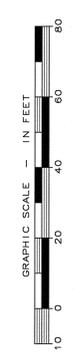
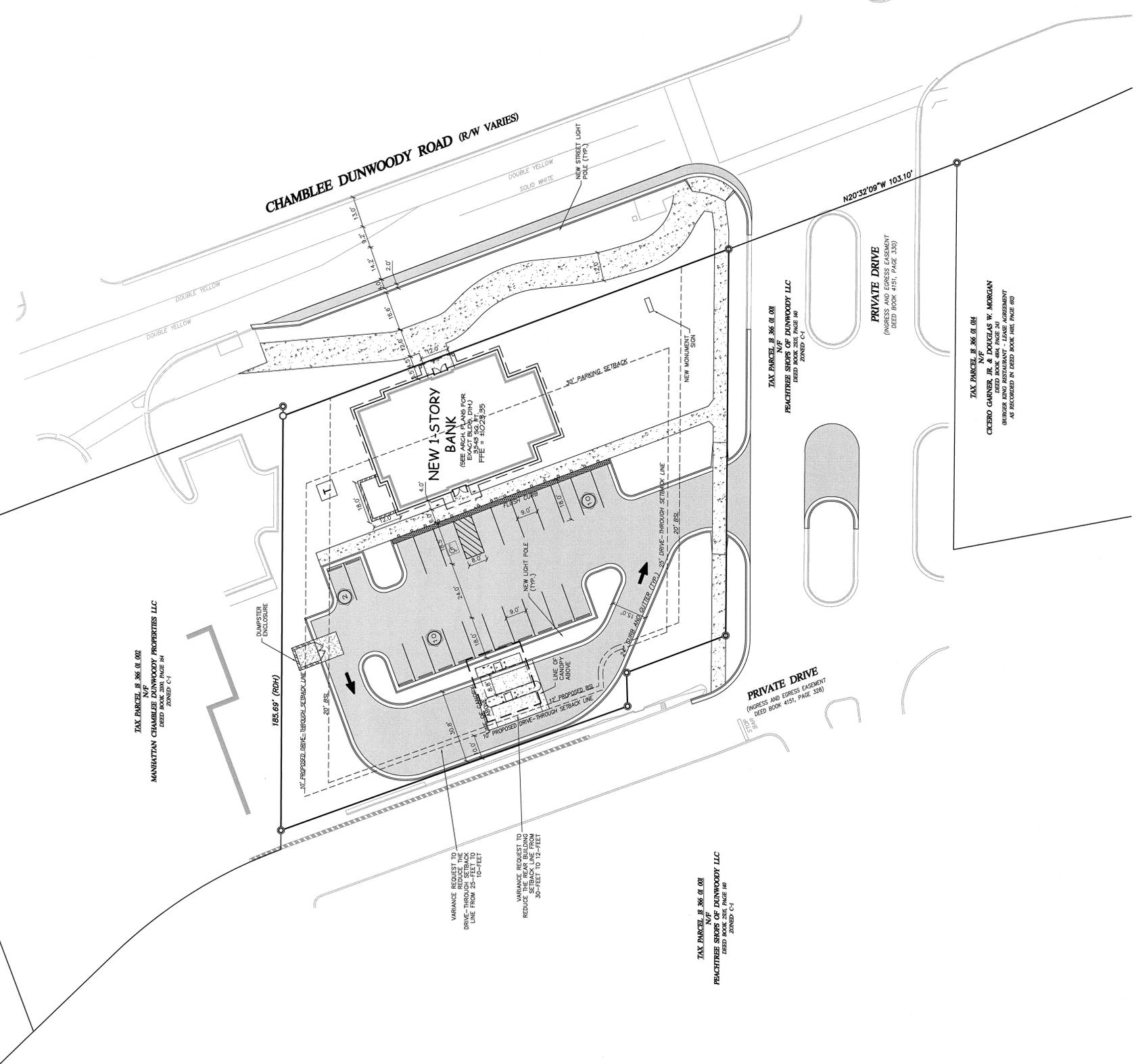
Date	Description
08/22/2016	UPDATED SLIP PLAN
08/22/2016	REMOVED PROPOSED PARKING
07/22/2016	ADDED SETBACK VARIANCE LABELS



Project Name	SUNTRUST BANK - DUNWOODY
Project Number	1620088
Scale	1"=20'
Description	

THESE ARE NO STATE WATER WITHIN 200 FEET OF THE SITE.
THERE ARE NO WETLANDS ON THE SITE.
THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.
THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOTE: ALL CURB RADI ARE $\leq 12'$ UNLESS OTHERWISE NOTED.
NOTE: ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
STREET LIGHTS SHALL BE INSTALLED FROM TO CORNER OF PLAT.
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(RECEIVED
7-25-16
- JO

**FIRST AMENDED
STATEMENT OF INTENT**

and

Other Material Required by
City of Dunwoody Zoning Ordinance
For the
Special Land Use Permit Application
Application No. SLUP-16-091

of

SunTrust Dunwoody

for

±0.75 Acres of Land located in
Land Lot 366, 18th District

5490 Chamblee Dunwoody Road
Dunwoody, Georgia 30338

Submitted for Applicant by:

Dennis J. Webb, Jr.
Vickie B. Chung
Smith, Gambrell & Russell, L.L.P.
Promenade, Suite 3100
1230 Peachtree Street, N.E.
Atlanta, Georgia 30309
404-815-3500

I. INTRODUCTION

This Application seeks one Special Land Use Permit (“SLUP”) in order to redevelop +0.75 acres of land located in Land Lot 366, 18th District of DeKalb County (the “Subject Property”), which is located in the Dunwoody Village Overlay District.¹ The Applicant seeks to transform an old, vacant restaurant (formerly Hickory House) into a SunTrust Bank with an isolated drive-through, which will be a relocation of the current branch located at 1710 Mount Vernon Road. The existing site currently contains a \pm 4,200 square foot vacant restaurant building, 57 parking spaces between the building and Chamblee Dunwoody Road, and an impervious coverage of approximately 94%. The Applicant will completely redevelop the site, adding a new 3,700 square foot building, rear drive-through with canopy, additional landscaped area, expanded sidewalk, bike lane and bicycle parking, and reducing impervious area and total parking, all of which will bring the Subject Property into greater compliance with the regulations and overall goals of the Dunwoody Village Overlay.

The proposed use is completely consistent with the underlying zoning and Comprehensive Land Use Plan. The Subject Property is zoned C-1, which allows banks with drive-through services as of right. The Comprehensive Plan designates the Subject Property as being located in the “Commercial” future land use category, which encompasses non-industrial business uses, such as banking. In addition to bringing a currently non-compliant site into greater compliance with the Dunwoody Village Overlay requirements, the proposed is expected to generate less traffic than other allowable C-1 uses. The SLUP requested in this Application is to increase the allowed parking in Section 27-97(g)(1) from 3 spaces per 1,000 square feet of floor area (11 total spaces for 3,700 square feet of floor area) to 22 total spaces.

¹ Concurrently with this SLUP application, the Applicant requests three variances: (1) to reduce the 30 foot rear building setback; (2) to reduce the 25 foot side and rear yard drive-through setbacks, and; (3) to increase the maximum allowed footcandles at the property line and in parking areas.

This SLUP is requested because the Applicant, by constructing a new building, is required to fully comply with the Dunwoody Village Overlay requirements per Section 27-97(c)(1) of the Code.

II. IMPACT ANALYSIS

The criteria considered by the City in granting a SLUP are listed in Article V, Division 3, Section 27-359 of the Code. The requested SLUP should be granted because all applicable criteria are met.

A. Whether the proposed use is consistent with the policies of the comprehensive plan.

The Subject Property is located within the Dunwoody Village Character Area of the Comprehensive Plan and within the Dunwoody Village Overlay under the Code. The City's Future Land Use Map designates the Subject Property as "Commercial." The Subject Property is not currently in compliance with the Overlay requirements, but the proposed redevelopment will bring the Subject Property closer to compliance and advance the goals of the Overlay. Furthermore, the proposed redevelopment is entirely consistent with these designations, which seek to provide a mix of office, retail and residential uses that use high quality building materials and adhere to the architectural standards of the district. In particular, the proposed redevelopment will further the following stated policies of the Comprehensive Plan:

- (a) Promoting redevelopments that abide by the architectural standards of Dunwoody Village Promoting, using "high quality building materials";
- (b) Promoting redevelopments "focused on pedestrian and bicycle amenities"; and
- (c) Promoting "a mix of office, retail and residential."

Furthermore, the proposed redevelopment is consistent with and will further the goals of the Dunwoody Village Master Plan, in particular:

- (a) Making the area “safer and more accommodating for pedestrians”; and
- (b) Encouraging “high-quality redevelopment of the underutilized areas”; and
- (c) Creating a “more walkable, vibrant Village Center with area appropriate goods and services.”

B. Whether the proposed use complies with the requirements of this zoning ordinance.

The Subject Property is zoned C-1. That zoning district allows for banks with drive-throughs as of right. With the exception of the three variances requested by the Applicant, the proposed development is wholly compliant with the underlying zoning.

The Applicant requests a SLUP to increase the allowed parking in Section 27-97(g)(1) from 3 spaces per 1,000 square feet of floor area (11 total spaces for 3,700 square feet of floor area) to 22 total spaces. Without this increase, the new bank would not have adequate parking on site. Although the City has progressively been moving towards being more walkable, the reality is that commercial uses need adequate parking in order to succeed. Synovus Bank of Georgia, located directly adjacent to the Subject Property, has 34 parking spaces, one and a half times what the Applicant is requesting. The Subject Property currently contains 57 parking spaces, all of which are located in between the existing building and Chamblee Dunwoody Road. The parking associated with the proposed development will all be located in the rear of the new bank building, in line with Dunwoody Village Overlay requirements.

C. Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district.

There is more than adequate land area to accommodate the proposed use. The Subject Property is + 0.75 acres. The existing impervious coverage on the Subject Property is 95%,

significantly higher than the 80% allowed under the C-1 zoning district. The proposed development will have an impervious coverage of 58.1%, bringing the site into compliance with C-1 regulations. The Applicant will comply with all open space requirements of the Code.

D. Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:

a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;

No. The Subject Property is adjoined by other commercial uses and will not create any adverse impacts due to noise, smoke, odor, dust or vibration.

b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;

No. Hours of use will mirror those of the existing businesses in the Dunwoody Village commercial core.

c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;

No. Bank uses have existed near the Subject Property for many years with no adverse impact on the surrounding properties.

d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;

No. The proposed project will generate considerably less traffic than other allowable uses under the C-1 zoning district. The Institute of Traffic Engineers (ITE) Trip Generation

Manual (Ninth Edition) (Code 9120)(subspecialty Drive-in Bank) was used to calculate vehicle trips for this development. For a bank with 10 employees, an average of an average of 25 trips is anticipated for the morning weekday peak hour and an average of 47 trips is anticipated for the evening weekday peak hour. In contrast, a 3,700 square foot fast food restaurant with a drive-through window, which is also permitted as of right in C-1, would generate an average of 235 trips during the morning weekday peak hour and an average of 194 trips during the evening weekday peak hour.

- e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings;

Yes. The proposed building is appropriate in terms of its size, scale and massing compared to other buildings in the Dunwoody Village commercial core. It will comply with the Code's maximum height regulations and is well beneath the allowable square footage.

- f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources;

The Applicant knows of no historic buildings, sites, districts, or archaeological resources either on the Subject Property or located in the immediate vicinity that would suffer adverse impacts from the requested SLUP.

- E. Whether public services, public facilities and utilities—including motorized and nonmotorized transportation facilities—are adequate to serve the proposed use.

The proposal for the site in question will have minimal effects on city streets, infrastructure or schools. As noted above, the expected traffic generation for the proposed use is much less than the anticipated traffic for other allowable uses in the C-1 district. There is

sufficient utility, water and sewer capacity to supply this site. The proposed redevelopment will have no effect on surrounding schools.

- F. Whether adequate means of ingress and egress are proposed, with particular reference to non-motorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access.

The proposed bank will be serviced by existing driveways on a private driveway off Chamblee Dunwoody Road. Ingress, egress and traffic flow for the proposed use will not a problem.

- G. Whether adequate provision has been made for refuse and service areas.

Yes. See the attached site plan.

- H. Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

No.

III. PRESERVATION OF CONSTITUTIONAL RIGHTS

The Applicant respectfully submits that the Zoning Ordinance of the City of Dunwoody lacks adequate standards for the City Council to exercise its power to grant special land use permits. In essence, the standards are not sufficient to contain the discretion of the City Council and to provide the Courts with a reasonable basis for judicial review. Because the stated standards (individually and collectively) are too vague and uncertain to provide reasonable guidance to the City Council, the Zoning Ordinance violates the Fifth and Fourteenth Amendments of the Constitution of the United States in matters of zoning. The Zoning Resolution also violates Article I, Section III, Paragraph 1; and Article I, Paragraphs 1 and 2 of the Constitution of State of Georgia, 1983.

The City Council is granted the power to zone pursuant to Article IX, Section II, Paragraph 4 of the Constitution of the State of Georgia, 1983. It is a power which must be fairly exercised. Based on this element of fairness, the Zoning Ordinance of the City of Dunwoody violates Article IX, Section II, Paragraph 4 of the Constitution of the State of Georgia, 1983.

The Zoning Ordinance presently in effect is contrary to the best interest of the health and welfare of the citizens of the City of Dunwoody, and constitutes an arbitrary and capricious act. As a result, the Zoning Ordinance is in violation of Article I, Section I, Paragraphs 1 and 2 of the Constitution of the State of Georgia 1983; Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia; and Article I, Section II, Paragraph 3 of the Constitution of the State of Georgia, 1983. Furthermore, the Zoning Ordinance violates the due process clause and equal protection clauses of the Fifth and Fourteenth Amendments to the Constitution of the United States of America.

In addition, the Zoning Ordinance presently in effect is unconstitutional in that it renders this property unusable and destroys its marketability. Therefore, the Zoning Ordinance constitutes a taking of applicant's property without just and adequate compensation and without due process of law in violation of the Fifth and Fourteenth Amendments to the United States Constitutional and in violation of Article I, Section I, Paragraph 1 and Article I, Section III, Paragraph 1(a) of the Constitution of Georgia.

Any limitation on the time for presentation of the issues before the City Council who have the power to zone and rezone is a violation of the guarantees of free speech under Article I, Section I, Paragraph 5 of the Constitution of the State of Georgia, 1983 and the First Amendment of the Constitution of the United States of America. Further, said limitations are in violation of the right to petition and assemble, in violation of Article I, Section I, Paragraph IX of the

Constitution of Georgia, 1983 and the First Amendment of the Constitution of the United States of America as well as the due process clauses of the Constitution of Georgia, 1983 and the Constitution of the United States of America.

The Zoning Ordinance of the City of Dunwoody is unlawful, null and void in that its adoption and map adoption/maintenance did not comply with the requirements of its predecessor ordinance and/or the Zoning Procedures Law, O.C.G.A. § 36-66-1, et seq.

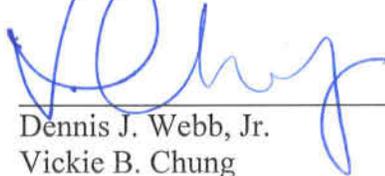
IV. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the SLUP at issue be approved. The Applicant also invites and welcomes any comments from Staff or other officials of the City so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 22 day of July, 2016.

Respectfully submitted,

SMITH, GAMBRELL & RUSSELL, L.L.P.



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