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Perimeter Center OVERLAY

City of Dunwoody, Georgia



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AUGUST 1, 2016

Dunwoody 
* Smart people – Smart city

City of Dunwoody

41 Perimeter Center East
Suite 250
Dunwoody GA 30346

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City Council

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Pam Tallmage
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Michael Smith, Public Works Director
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27-98 Perimeter Center Overlay

SECTIONS

- (a) Overlay Generally
- (b) Street Types
- (c) Streets & Blocks
- (d) General Building Design Criteria
- (e) [Sustainability Measures](#)

run with the land and are binding on the subject property owner and all future property owners.

a. Minor Exception—Administrative Relief. The community development director or public works director, as noted, is authorized to approve the following minor exceptions to strict compliance in accordance with the special administrative permit procedures of Article V, Division 7:

1. A change to any street or frontage option component width or depth (requires approval by the public works director);
2. A reduction in required landscape or yard depth by no more than 10 percent;
3. Establishment of a public access easement in lieu of right-of-way dedication for street type frontage options, per the public works director.
4. Retaining walls in street type frontages up to 5 feet in height when extreme grades prevent the use of shorter walls and landscaping is used to mitigate the visual impacts of the taller retaining wall at the sidewalk edge; and
5. Any other minor exception expressly authorized under the Perimeter Center Overlay regulations.

b. Major Exceptions—Special Land Use Permit. Major exceptions to strict compliance with the Perimeter Center Overlay regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-98(a)(7)

a. Major exceptions require review and approval in accordance with the special land use permit procedures of Article V, Division 3.

(b) Street Types

(1) Intent

Street Types are established for all of the existing and new streets in the Perimeter Center Overlay area. Frontage options are defined for the space between the building or parking and the curb per street type. Street Types and Frontage Options are intended to address the comfort, convenience, and safety of pedestrians and bicyclists; to develop a network of streets with identifiable character; and to provide an aesthetically pleasing edge to all development.

(2) Applicability

All new development and redevelopment within the Perimeter Center Overlay shall meet the Street Type frontage requirements under any one of the following circumstances:

- a. Redevelopment or Renovation.** When an alteration to an existing structure includes an addition of more than 50 percent in gross building square footage.
- b. New Structure.** Development of a new principal structure on a lot or a portion of a lot.
- c. Parking Lots.** Redevelopment or revision to 50 percent or more of an existing parking lot or development of a new parking lot consisting of 15 or more spaces, not including resurfacing or repairing an existing layout.

Street Types

(3) Street Types Map

Figure 27-98-2 Street Types Map defines street types in Perimeter Center for existing and new streets. Refer to 27-98(c) Streets & Blocks for more information about new streets and their designated locations.

Locations illustrated on the Street Types map are approximate. The requirements and locations of all streets shall be determined by and approved by the public works director during the Site Plan review process.

a. Street Types. The following Street Types are established for the existing streets and any new streets adjacent to and within the Perimeter Center Overlay. Refer to Figure 27-98-2 Street Types Map for the typologies of existing streets and proposed new streets.

1. **Major Parkway Street.** The Major Parkway Street Type is intended to create a parkway effect along the major transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with native or naturalized trees. Major Parkways require designated bicycle facilities. Refer to 27-98(b)(5) Major Parkway Street Type for requirements.
2. **Minor Parkway Street.** The Minor Parkway Street Type is intended to create a parkway effect along transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with trees. Minor Parkways require designated bicycle facilities. Refer to 27-98(b)(6) Minor Parkway Street Type for requirements.
3. **Primary Street.** The Primary Street Type is intended to establish a series of comfortably scaled streets with continuous building frontage and a limited number of drives interrupting the sidewalk. Primary Streets require a balance between bicyclists and pedestrians and automobiles by providing designated bicycle facilities and a robust pedestrian realm, and by prioritizing bicyclists and pedestrians for a more balanced transportation route. Refer to 27-98(b)(7) Primary Street Type for requirements.
4. **Secondary Street.** The Secondary Street Type is meant to establish a designated street for parking lot and structure access, while still providing a safe and comfortable pedestrian realm. Refer to 27-98(b)(8) Secondary Street Type for requirements.

b. Street Type Graphics. The graphics provided in this section illustrate the preferred configuration of each Street Type. By applying the standards defined, other configurations are permitted.

c. Redesignating Street Types. Existing street designations are set to match the existing character to the extent possible. New streets have been designated with the intent to provide an appropriate mix of Primary and Secondary Streets, establishing comfortable pedestrian streets while providing for parking access. Re-designation of existing streets may occur per the following:

1. **Process.** Parkways shall not be re-designated, except by a Text Amendment to this code. All other streets may be redesignated using the minor exception process.
2. **Entire Blocks.** When redesignating street types, the entire street between intersecting streets shall be redesignated.
3. **Primary Streets.** The intent is to maintain a similar amount of Primary Streets as established by the map. Primary Streets may be re-designated as Parkways or Secondary Streets only when a new or existing street, currently designated as Secondary, within or abutting the same parcel is redesignated as a Primary Street.
4. **Secondary Streets.** Existing Secondary Streets may be re-designated as Parkways or Primary Streets as long as vehicular access to parking for all surrounding sites has been addressed.

d. Shared-Use Paths. Trail locations are required per Figure 27-98-2 Street Types Map and the department of public works director. Refer to the City's current comprehensive plan or other City-approved cycle/pedestrian plan and coordinate with public works director for locations for other trails.

1. **Additional Easement.** Additional easement or right-of-way space may be required when trails do not follow a street or are along Primary or Secondary Streets.
2. **Trail Width.** Trails in locations other than within Street Type frontages shall be a minimum of 12 feet in width with a minimum of 10 feet of landscape on both sides.

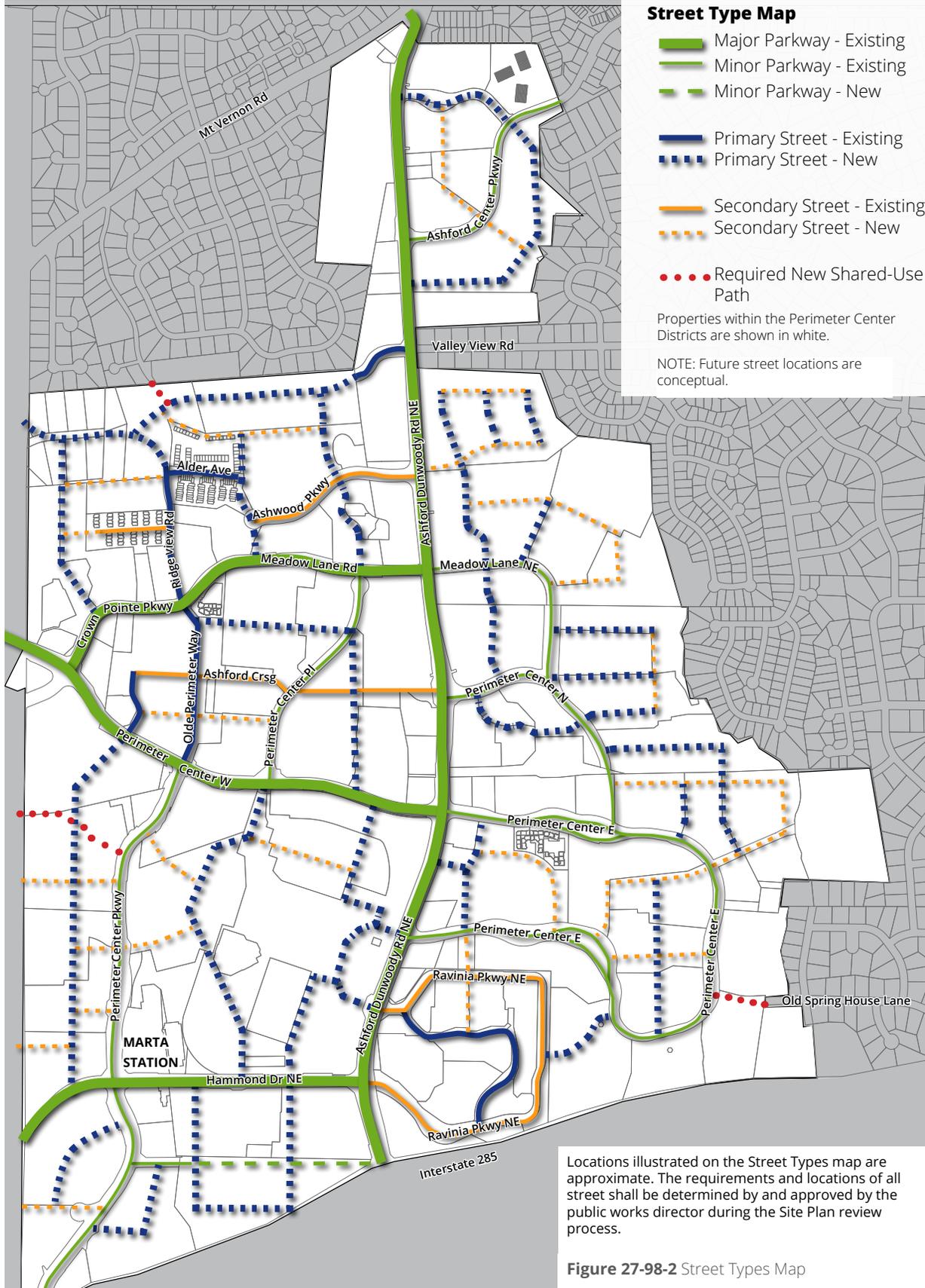


Figure 27-98-2 Street Types Map

3. **Trail Materials.** Trails shall be constructed primarily of concrete. Brick pavers are acceptable as accent material.
4. **Trees.** One canopy tree is required per every 60 linear feet of trail.
5. **Ground Plane Vegetation.** Trail easements are to be landscaped with a combination of planting beds that may include shrubs, ornamental grasses, ground cover, vines, or perennials; and seeded, plugged, or sodded grass. Nonliving materials, such as pine straw or mulch are permitted for up to 50 percent of the buffer. Additional mulch area may be approved by the community development director when significant tree cover exists.
6. **Existing Vegetation.** The community development director may credit buffer and screen landscape when existing vegetation and tree plantings meet the same requirements.

(4) Streetscape Furnishings & Hardscape Design

In addition to the Street Type frontage requirements that include minimum tree plantings and walk/trails, a street furnishings and hardscape design is required along all new and existing street frontages per the following.

- a. **Definition.** The streetscape furnishings and hardscape design shall include the frontage area as defined by the Street Types plus any hardscaped building setback area less than 25 feet deep from the frontage edge.
- b. **Design Submittal.** A consistent design shall be submitted for approval with Site Plan Review for all streets within and adjacent to the development.
- c. **Standard Specifications.** The design shall meet any standards defined by the City for sidewalk, curb, access, lighting, landscape, and other applicable construction details. Refer to Chapter 16, Land Development Regulations.
- d. **Perimeter Community Improvements Districts (PCID) Public Space Standards.** Refer to the current PCID public space standards document for recommended streetscape component and material specifications.
- e. **Submittal Requirements.** At a minimum, the design submittal shall include the following:

1. **Trees.** Trees meeting the minimum requirements of 27-98(b) Street Types shall be included in the design, with details related to tree pits, tree grates, and tree planting to meet the landscape installation requirements of 27-364 Landscape.
2. **Pavement Design.** Paving materials and pattern is required for each sidewalk and any other hardscape proposed. Pavement design shall address all walks or trails, including the minimum sidewalk or trail widths required by the frontage.
3. **Street Furnishings.** Benches and/or seatwalls, planters, planter fences, tree grates, and trash receptacles shall be specified and quantities and locations listed for each street. For each block face, a minimum of two benches, one trash receptacle, and one recycling receptacle are required.
4. **Bus Stop Facilities.** Coordinate with the public works director for the location of bus stops and the required facilities. Facilities may include benches, pavement, shelters, signs, and other improvements.
5. **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and open tree wells, including shrubs, perennials, annuals, and grasses.
6. **Lighting.** Pedestrian and vehicular lighting shall be specified with locations and quantities noted. All lighting shall meet any requirements of the public works director. Cut sheets and samples shall be submitted upon request.
7. **Stormwater Facilities.** Any stormwater facilities proposed for the right-of-way shall be included in the streetscape design. Facilities such as stormwater planters or parkway swales may be included. Maintenance responsibilities and processes shall be included.
8. **Identity Elements.** Any other elements designed to establish the identity of each street, such as banners mounted on light poles, pavement markers, artwork, or wayfinding signage, shall be included in the design submittal.

9. **Streetscape Maintenance.** Property owner is responsible for regular maintenance and emptying of trash and recycling receptacles, sweeping of sidewalks and seating areas, and tree maintenance. The City may request additional maintenance procedures.
10. **Streetscape Design Continuation.** The approved streetscape design for each street may be utilized by the City for the extension of any street outside the development to provide continuity.

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Street Types

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(5) Major Parkway Street Type

The Major Parkway Street Type applies to existing streets per Figure 27-98-2 Street Types Map. Refer to Figure 27-98-3. Table of Major Parkway Street Type Requirements and Figure 27-98-4 Existing Major Parkway Street Section.

- a. **New Major Parkway Streets.** New Major Parkway streets are not permitted, unless otherwise required by the public works director. This street type is applicable only to existing streets per Figure 27-98-2 Street Types Map.
- b. **Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Major Parkway as designated on the Figure 27-98-2 Street Types Map, shall apply one or more of the Major Parkway Street Frontage Options along the entire

length of the lot line abutting the Major Parkway. Refer to Figure 27-98-5 Table of Major Parkway Street Type Frontage Options.

- c. **Dedication.** When the sidewalk is fully or partially located on private property, right-of-way dedication is required, so that the sidewalk is fully located in the right-of-way. The public works director may approve an easement in lieu of right-of-way dedication based on the geometry of the site, topography, or other site-specific considerations.
- d. **Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate context-sensitive bicycle facility, per public works director.

FIGURE 27-98-3: TABLE OF MAJOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Varies; shall be wide enough to include curb to curb as well as frontage options.
Travel Lanes	4 to 8 lanes, 2 way
Lane Width	10' to 12' per public works director
Allowable Turn Lanes	Per public works director
Parking Lanes	Permitted only with public works director approval; then parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-5 Table of Major Parkway Street Type Frontage Options.



Figure 27-98-4 Existing Major Parkway Street Section

FIGURE 27-98-5: TABLE OF MAJOR PARKWAY FRONTAGE OPTIONS

	PARKING EDGE refer to FIGURE 27-98-6	ACTIVE EDGE refer to FIGURE 27-98-7	BUILDING EDGE refer to FIGURE 27-98-8
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2 Street Buffer	<p>Minimum Depth: Street buffer depth may be varied, at a minimum of 8 feet with an average depth of 12 feet.</p> <p>Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway with the goal of shading the parkway sidewalk at maturity. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 5 canopy trees per every 100 feet of buffer.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.</p>		
3 Sidewalk	A minimum 8 foot wide sidewalk is required and may meander between trees.		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per public works director: an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5 Yard Treatment	Minimum Depth: minimum 6 foot deep landscape or patio area is required.		
	Parking Screen is required. Refer to Figure 27-229 Landscape Screen Requirements.	Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.	no additional requirements
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

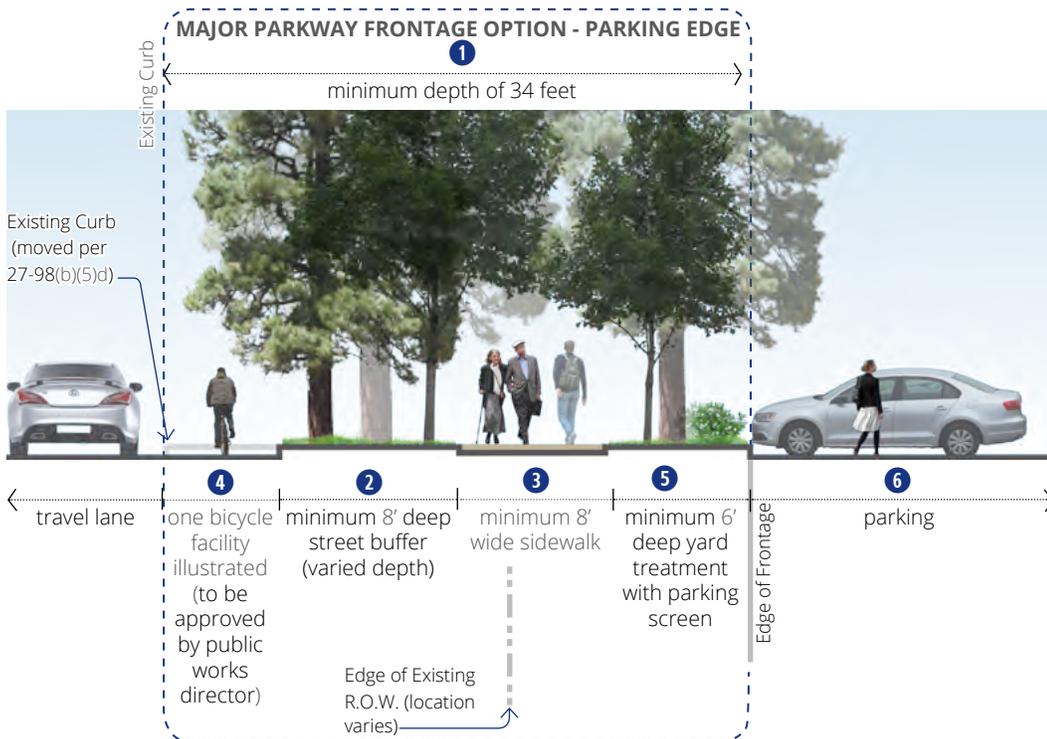


Figure 27-98-6 Major Parkway Frontage Option - Parking Edge

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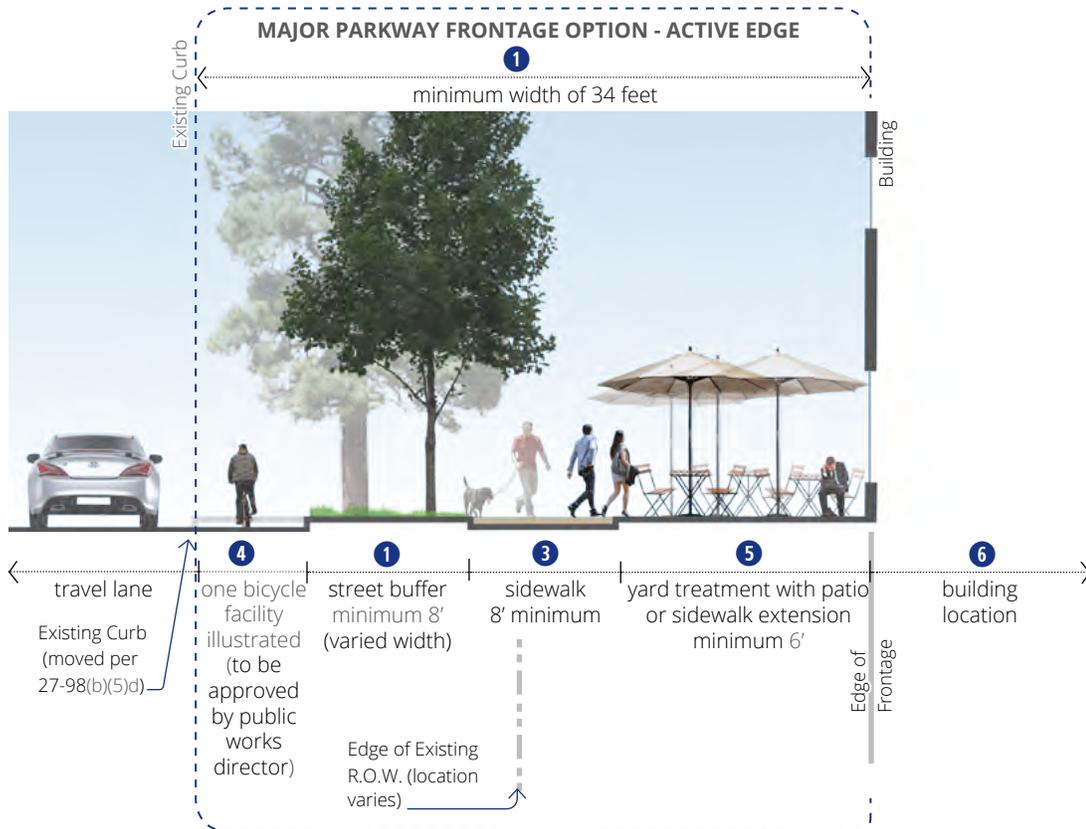


Figure 27-98-7 Major Parkway Frontage Option - Active Edge

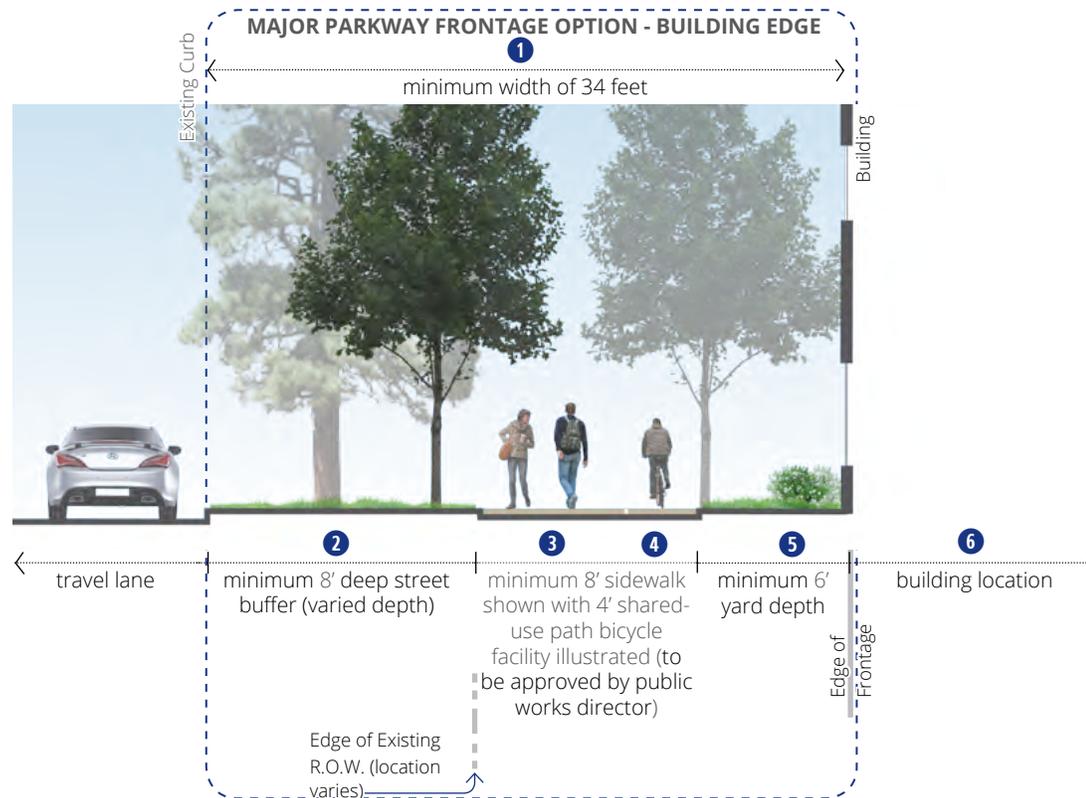


Figure 27-98-8 Major Parkway Frontage Option - Building Edge

(6) Minor Parkway Street Type

The Minor Parkway Street Type applies to existing streets per Figure 27-98-2 Street Types Map and is available for new streets per public works director. Refer to Figure 27-98-9. Table of Minor Parkway Street Type Requirements and Figure 27-98-10 Minor Parkway Street Section - Existing and New.

- a. New Minor Parkway Streets.** New Minor Parkway streets are not permitted, unless a minor exception is approved by the public works director.
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Minor Parkway as designated on Figure 27-98-2 Street Types Map shall apply one or more of the Minor Parkway Street Frontage Options along the entire length

of the lot line abutting the Minor Parkway. Refer to Figure 27-98-11 Table of Minor Parkway Street Type Frontage Options.

- c. Dedication.** When the sidewalk is fully or partially located on private property, right-of-way dedication is required, so that the sidewalk is fully located in the right-of-way. The public works director may approve an easement in lieu of right-of-way dedication based on the geometry of the site, topography, or other site-specific considerations.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per the public works director.

FIGURE 27-98-9: TABLE OF MINOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Existing varies; 100' to 120' per public works director
Travel Lanes	2 to 4 lanes, 2 way
Lane Width	10' to 12' per public works director
Allowable Turn Lanes	Per public works director
Parking Lanes	Permitted only with public works director approval; Parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-11 Table of Minor Parkway Street Type Frontage Options



Figure 27-98-10 Minor Parkway Street Section - Existing and New

FIGURE 27-98-11: TABLE OF MINOR PARKWAY FRONTAGE OPTIONS

	PARKING EDGE refer to FIGURE 27-98-12	ACTIVE EDGE refer to FIGURE 27-98-13	BUILDING EDGE refer to FIGURE 27-98-14
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2 Street Buffer	<p>Minimum Depth: Street buffer depth may be varied, at a minimum of 6 feet wide with average of 10 feet.</p> <p>Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway, with the goal of shading the parkway sidewalk at maturity. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 5 canopy trees per every 100 feet of buffer.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.</p>		
3 Sidewalk	A minimum 6 foot wide sidewalk is required and may meander between trees.		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per public works director: an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5 Yard Treatment	Minimum Depth: minimum 6 foot deep landscape or patio area is required.		
	Parking Screen is required. Refer to Figure 27-229 Landscape Screen Requirements.	Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.	no additional requirements
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

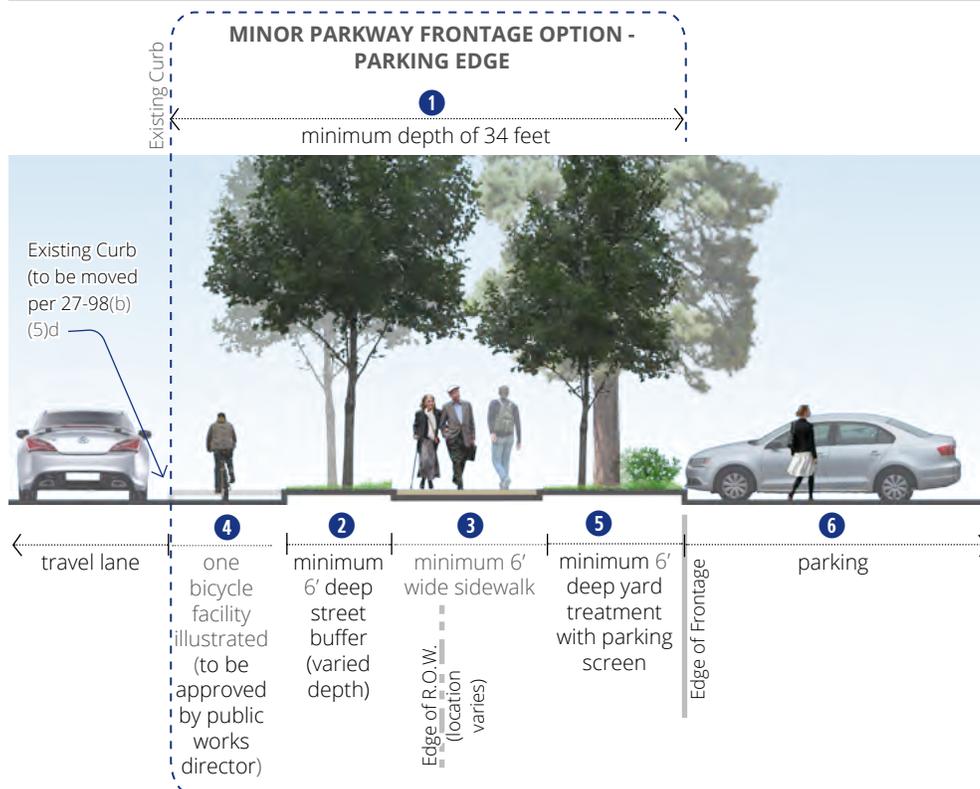


Figure 27-98-12 Minor Parkway Frontage Option - Parking Edge

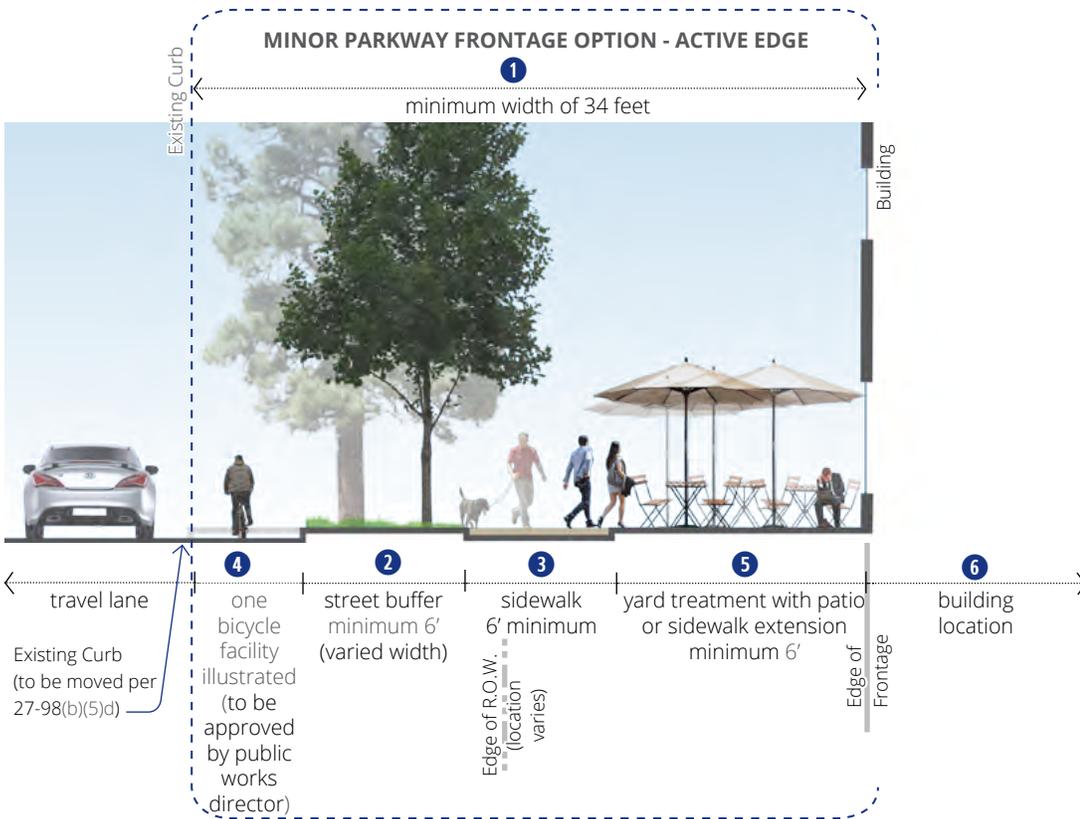


Figure 27-98-13 Minor Parkway Frontage Option - Active Edge

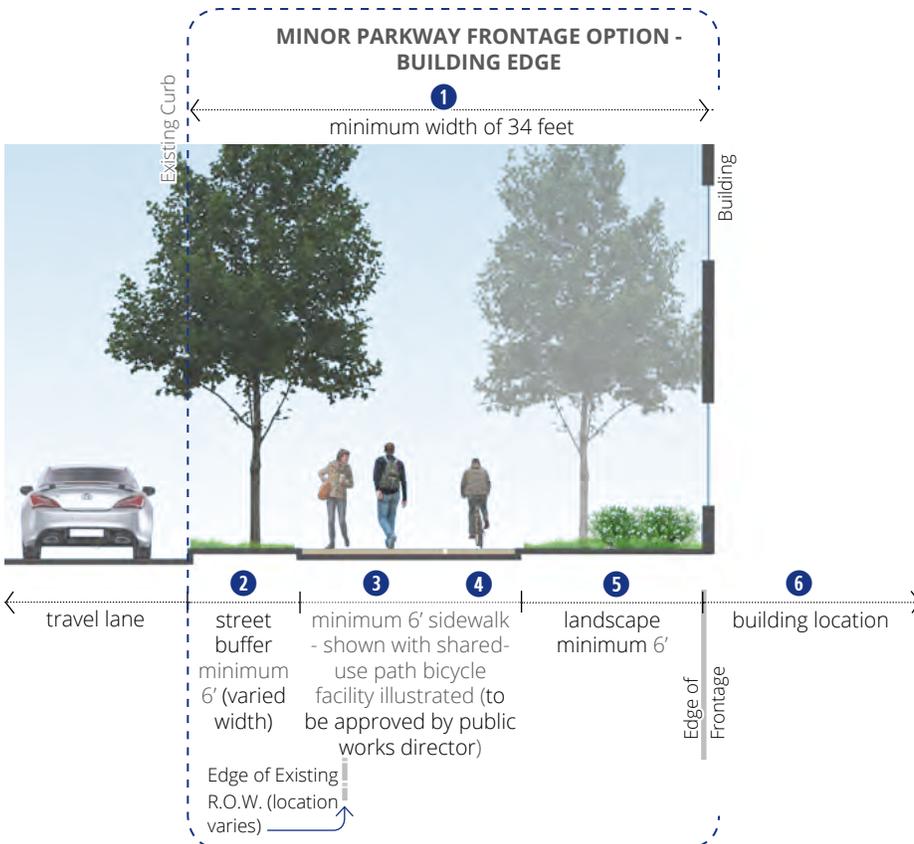


Figure 27-98-14 Minor Parkway Frontage Option - Building Edge

(7) Primary Street Type

The Primary Street Type applies to new and existing streets per Figure 27-98-2 Street Types Map.

- a. New Primary Streets.** Refer to Figure 27-98-15 Table of Primary Street Type Requirements for primary street type requirements for new streets, Figure 27-98-16 Primary Street Type Section: Typical illustrates the typical street section. A narrow version is available for limited application (refer to Figure 27-98-17 Primary Street Type Section: Narrow).
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Primary Street as

designated on Figure 27-98-2 Street Types Map shall apply one or more of the Primary Street Frontage Options along the entire length of the lot line abutting the Minor Parkway. Refer to Figure 27-98-18 Table of Primary Street Frontage Options.

- c. Dedication.** When the sidewalk is fully or partially located on private property, right-of-way dedication is required, so that the sidewalk is fully located in the right-of-way. The public works director may approve an easement in lieu of right-of-way dedication based on the geometry of the site, topography, or other site-specific considerations.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per the public works director.

FIGURE 27-98-15: TABLE OF PRIMARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-16	LIMITED NARROW refer to Figure 27-98-17
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of public works director/community development director
Right-of-Way Width	66' to 100' per public works director	60' to 75' per public works director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per public works director	16' to 18' per public works director
Allowable Turn Lanes	Per public works director	Per public works director
Parking Lanes	Per public works director	Per public works director
Pavement Width	34' to 40'	32'
Frontage Options	Refer to Figure 27-98-18 Table of Primary Street Frontage Options	Yard Edge Frontage Option only



Figure 27-98-16 Primary Street Type Section: Typical

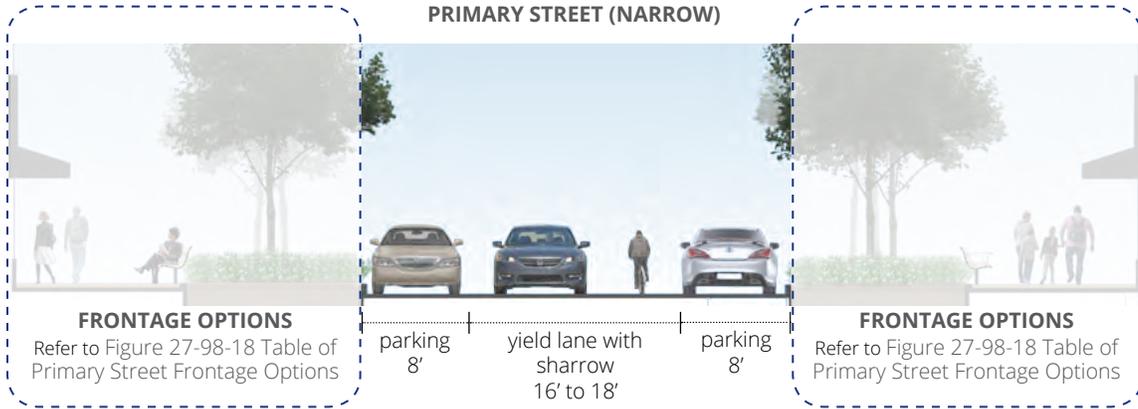


Figure 27-98-17 Primary Street Type Section: Narrow

FIGURE 27-98-18: TABLE OF PRIMARY STREET FRONTAGE OPTIONS					
	BUILDING EDGE refer to FIGURE 27-98-19	PARKING EDGE refer to FIGURE 27-98-20	YARD EDGE refer to FIGURE 27-98-21	COURTYARD/ PLAZA A OR B refer to FIGURE 27-98-22 OR FIGURE 27-98-23	DROP-OFF DRIVE EDGE refer to FIGURE 27-98-24
1 Minimum Depth of Frontage	24 feet	30 feet	16 feet	20 feet	20 feet
	The minimum depth of the frontage shall be measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth defined above.				
2 Street Buffer	Minimum Depth: Street buffer depth shall be a minimum of 6 feet wide.				
	Tree Planting: Canopy trees spaced minimum 35' on center in planters or wells, either raised or at grade, with access through planters to street, minimum every 60'.		Minimum of one tree per 30 linear feet of frontage, spaced equally or informally		
	Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 3 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 18 inches. Steps may also be incorporated.				
3 Sidewalk	Minimum 10' wide clear paved sidewalk with furnishings		Minimum 6' wide sidewalk		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per the public works director: an on-street dedicated bicycle lane, dedicated cycle track, or shared-use path adjacent to and marked separately from the sidewalk.				
5 Yard Treatment	Build-to Zone is directly adjacent to sidewalk	Minimum 5' landscape area is required to screen parking. Minimum 24" wide shrubs required 30" o.c.	yard depth determined PC Districts: by build-to zone of Building Type. Zoning District: by building setback	30' to 60' deep courtyard or plaza permitted with maximum of 30% of frontage in PC-2 and PC-3, maximum of 10% of frontage in PC-1	minimum 5' buffer; maximum 30' deep drop-off drive is permitted. maximum of 20% of frontage
6 Building & Parking Location	Article II. Zoning Districts for setback line or 27-105 Building Types for Primary Street Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.				

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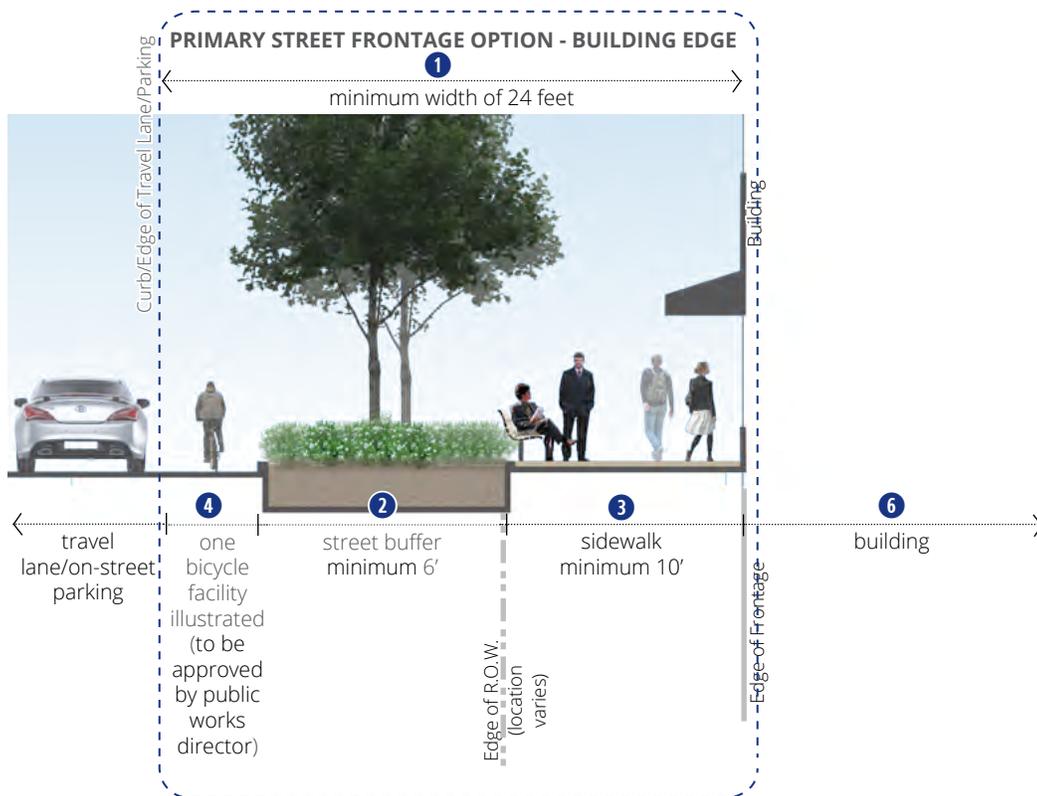


Figure 27-98-19 Primary Street Frontage Option - Building Edge

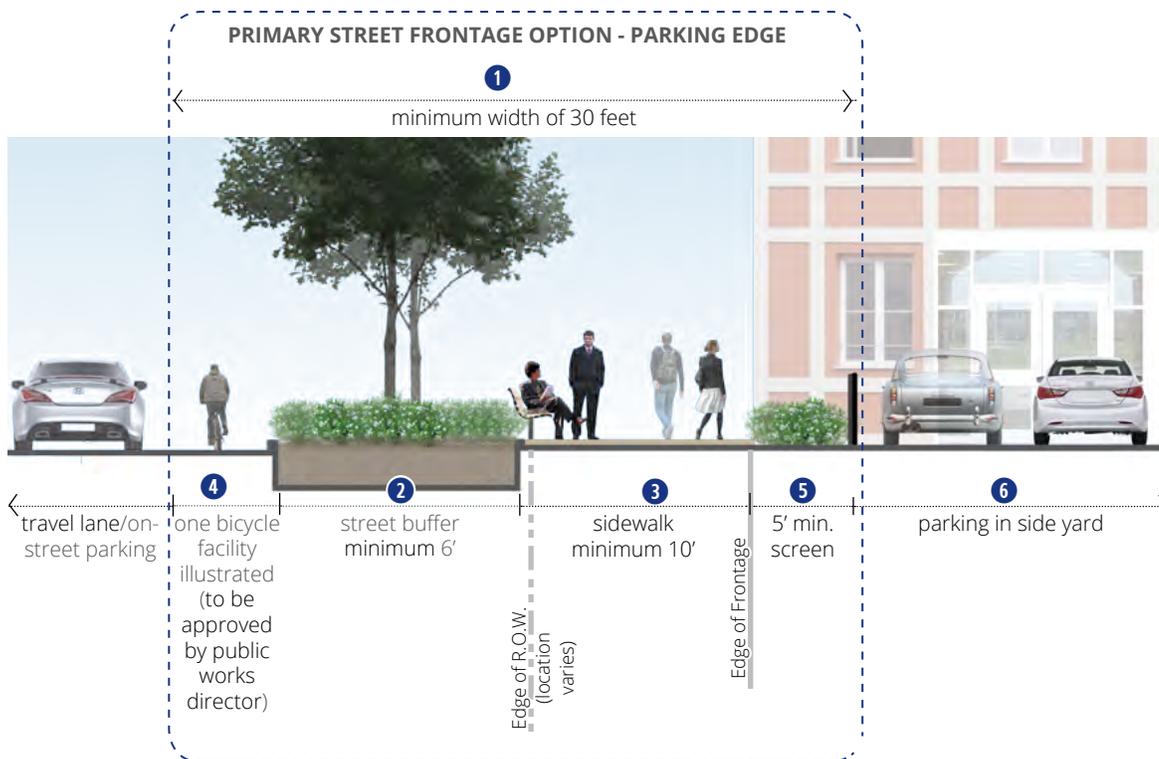


Figure 27-98-20 Primary Street Frontage Option - Parking Edge

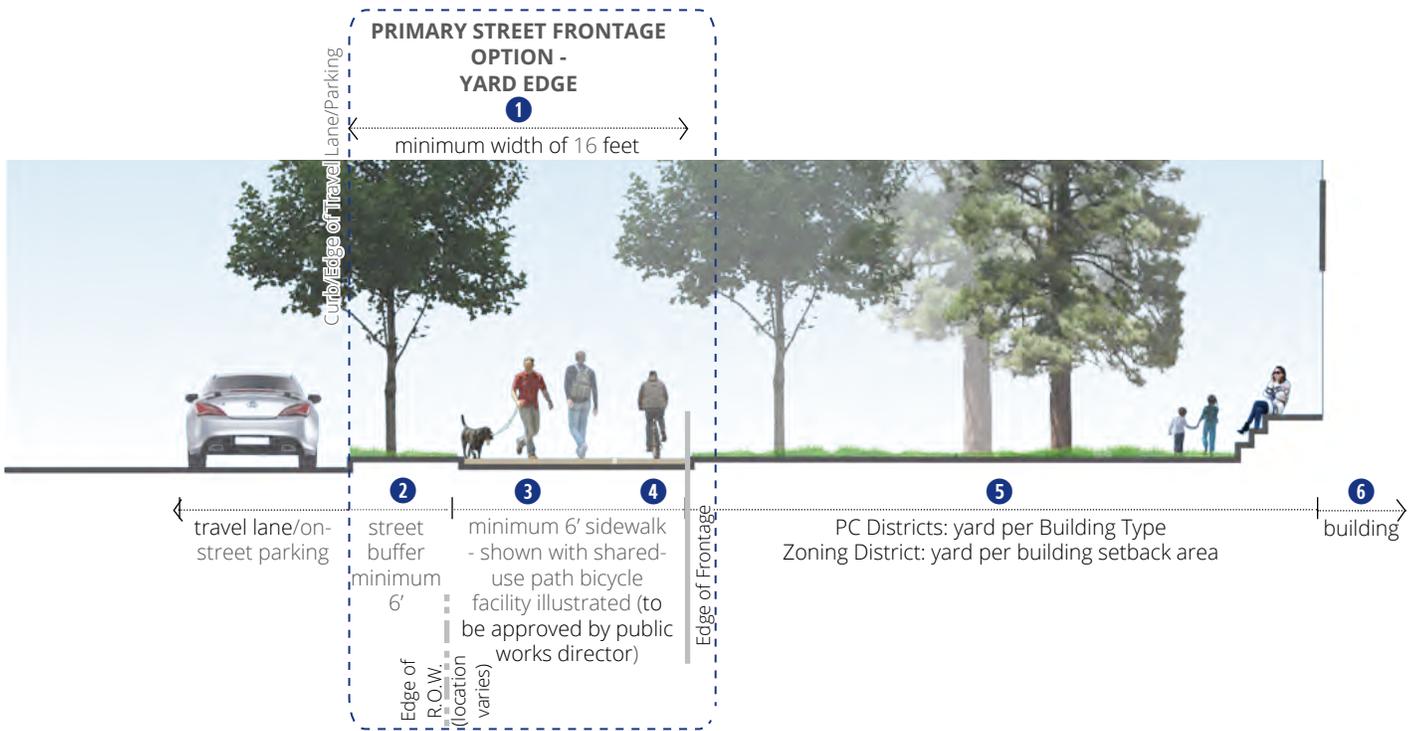


Figure 27-98-21 Primary Street Frontage Option - Yard Edge

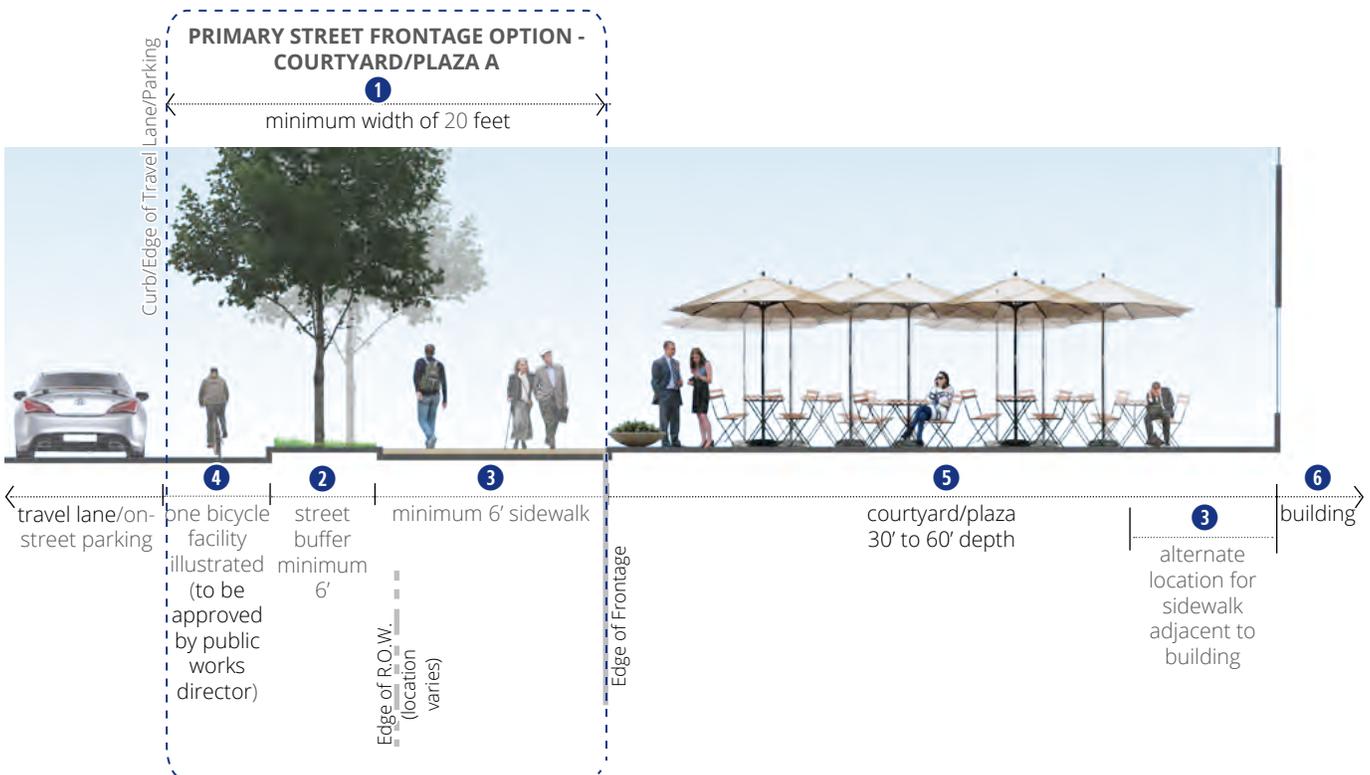


Figure 27-98-22 Primary Street Frontage - Courtyard/Plaza A

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Street Types

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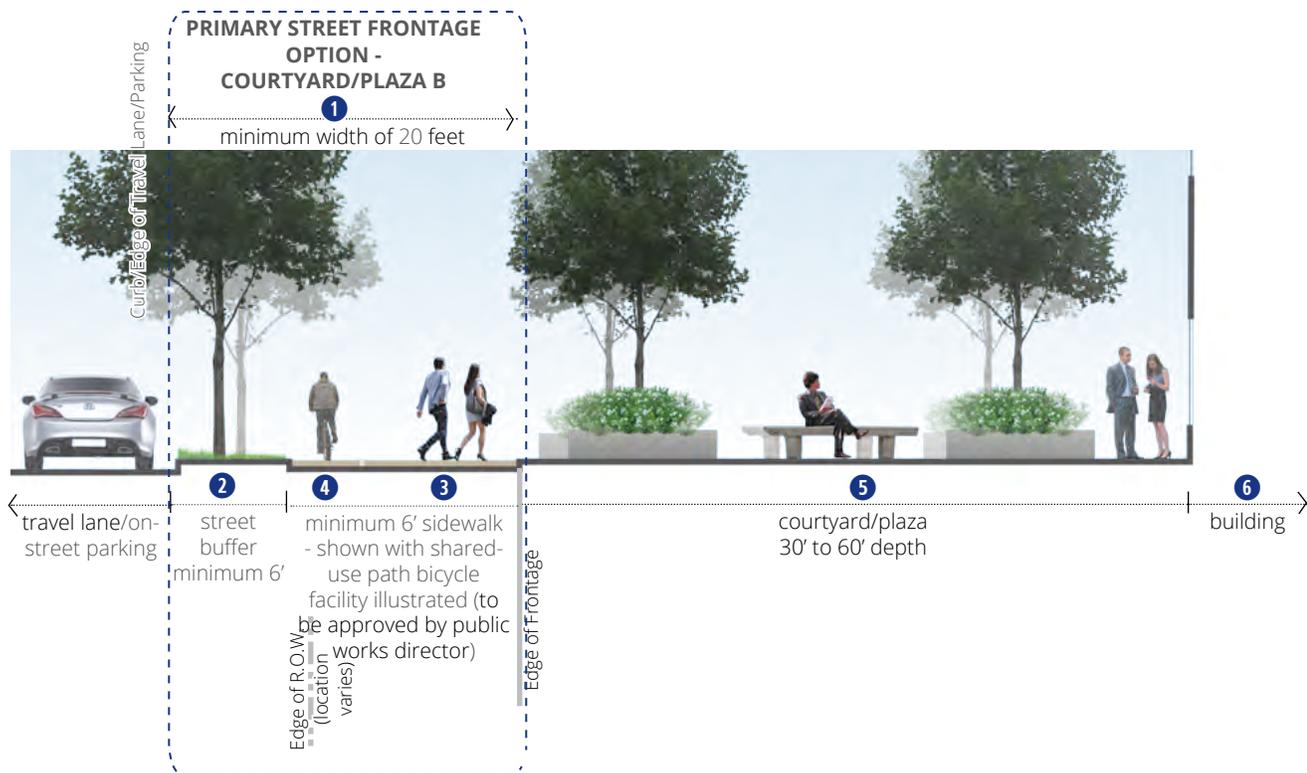


Figure 27-98-23 Primary Street Frontage Option - Courtyard/Plaza B

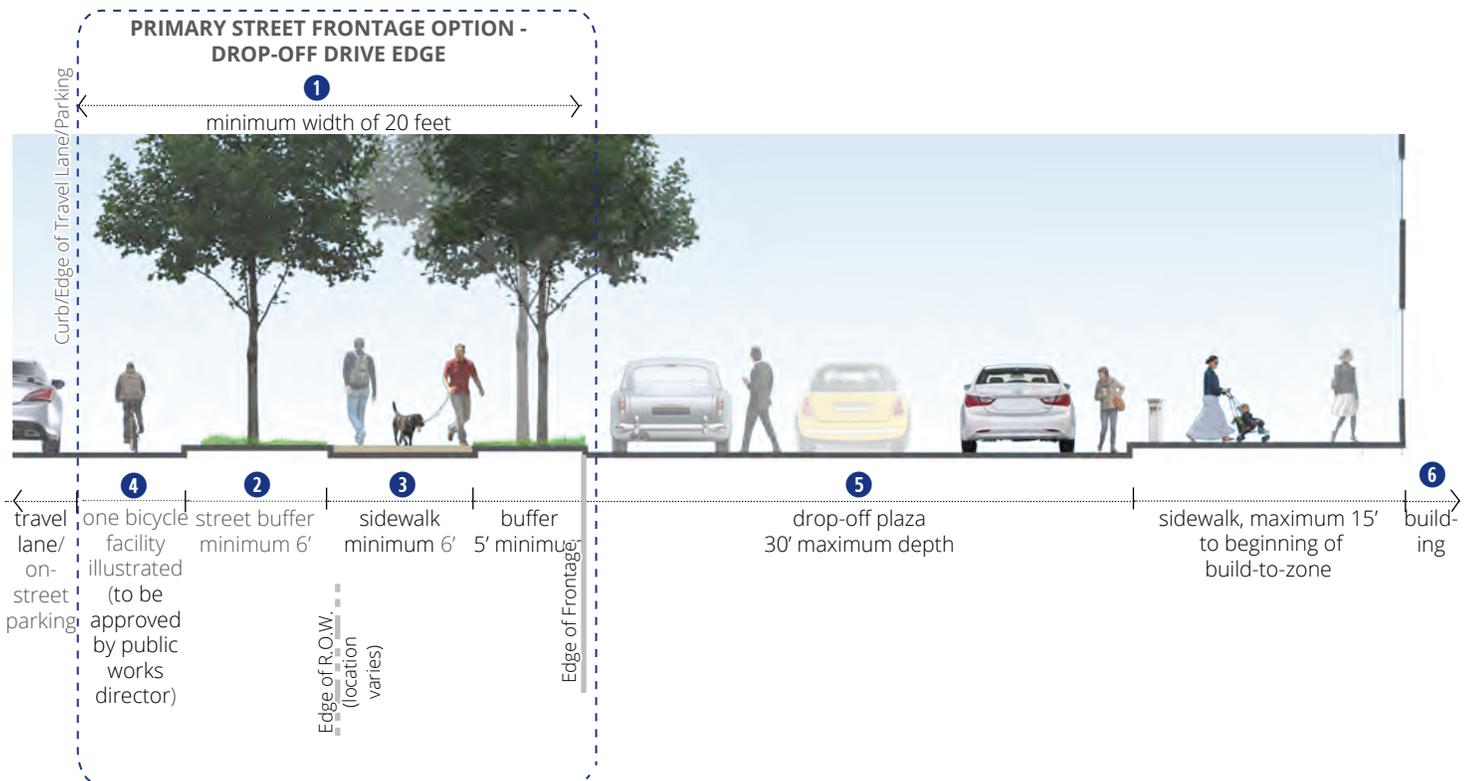


Figure 27-98-24 Primary Street Frontage Option - Drop-off Drive Edge

(8) Secondary Street Type

The Secondary Street Type applies to new and existing streets per Figure 27-98-2 Street Types Map.

- a. New Secondary Streets.** Refer to Figure 27-98-25 Table of Secondary Street Type Requirements for Secondary Street Type requirements for new streets, Figure 27-98-26 Secondary Street Type Section - Typical illustrates the typical street section. A narrow version is available for limited application (refer to Figure 27-98-27 Secondary Street Type Section - Narrow).
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Secondary Street as designated on Figure 27-98-2 Street Types Map, shall apply one or more of the Secondary

Street frontage options along the entire length of the lot line abutting the Secondary Street. Refer to Figure 27-98-28 Table of Secondary Street Frontage Options.

- c. Dedication.** When the sidewalk is fully or partially located on private property, right-of-way dedication is required, so that the sidewalk is fully located in the right-of-way. The public works director may approve an easement in lieu of right-of-way dedication based on the geometry of the site, topography, or other site-specific considerations.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per the public works director.

FIGURE 27-98-25: TABLE OF SECONDARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-26	LIMITED NARROW refer to Figure 27-98-27
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of public works director/community development director
Right-of-Way Width	66' to 100' per public works director	60' to 75' per public works director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per public works director	16' to 18' per public works director
Allowable Turn Lanes	Per public works director	Per public works director
Parking Lanes	Per public works director	Per public works director
Pavement Width	34' to 40'	32'
Frontage Options	Refer to Figure 27-98-28 Table of Secondary Street Frontage Options	

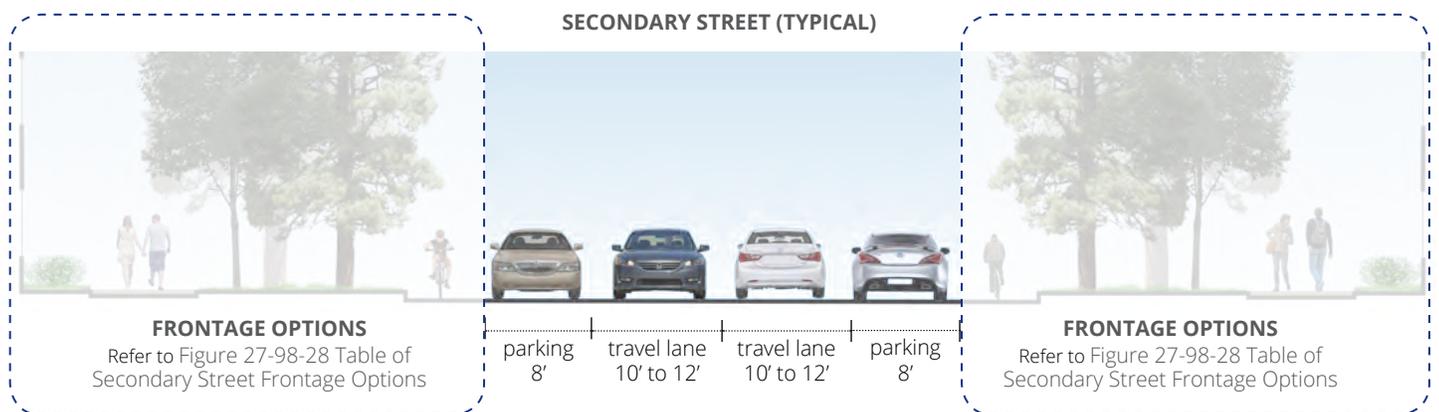


Figure 27-98-26 Secondary Street Type Section - Typical

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Street Types

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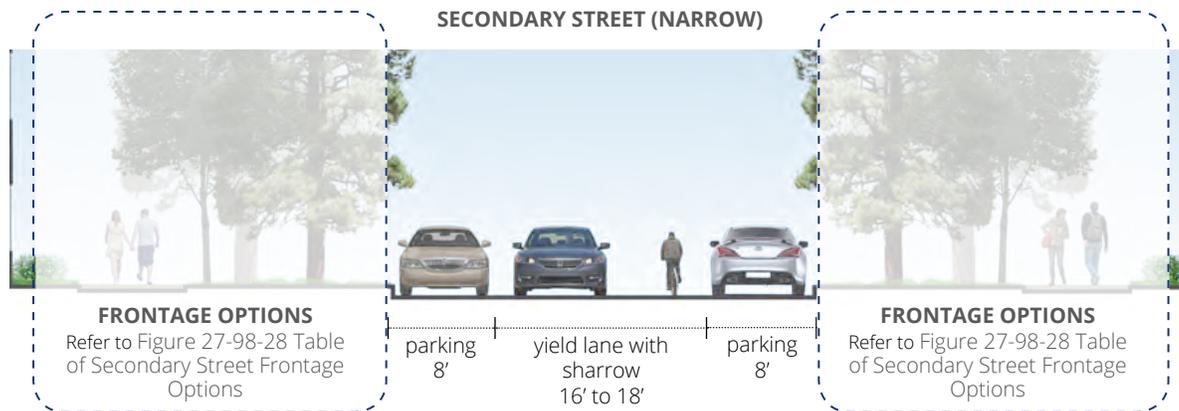


Figure 27-98-27 Secondary Street Type Section - Narrow

FIGURE 27-98-28: TABLE OF SECONDARY STREET FRONTAGE OPTIONS		
	PARKING EDGE refer to FIGURE 27-98-29	YARD EDGE refer to FIGURE 27-98-30
1	Minimum Depth of Frontage The minimum depth of the frontage shall be 20 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth.	
2	Street Buffer Minimum Depth: Street buffer width shall be a minimum of 6 feet wide. Tree Plantings: A minimum of one tree for every 300 square feet of buffer shall be provided, spaced evenly or informally. Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 4 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.	
3	Sidewalk A minimum 6 foot wide sidewalk is required and may meander between trees.	
4	Bicycle Facilities Shared, on-street bicycle facilities	
5	Yard Treatment A minimum 8' screen is required between parking and the sidewalk. The screen shall include a canopy tree every 30 feet of frontage, spaced evenly or informally, and a double row of shrubs, minimum 24" in height and width at maturity, staggered and spaced 24" on center.	A minimum 5' deep landscape yard is required, with a minimum of 30 shrubs, perennials, and/or grasses for every 500 square feet of yard area.
6	Building & Parking Location Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Secondary Frontage Options requirements for allowable widths of parking along the frontage and required building facades along the frontage.	

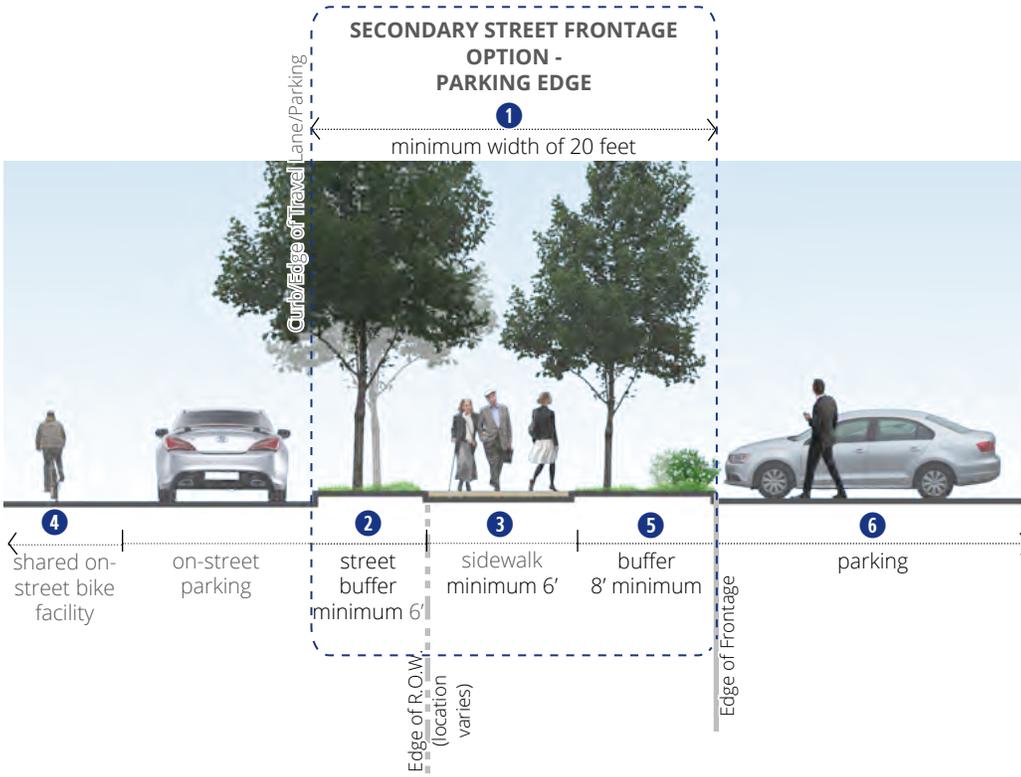


Figure 27-98-29 Secondary Street Frontage Option - Parking Edge

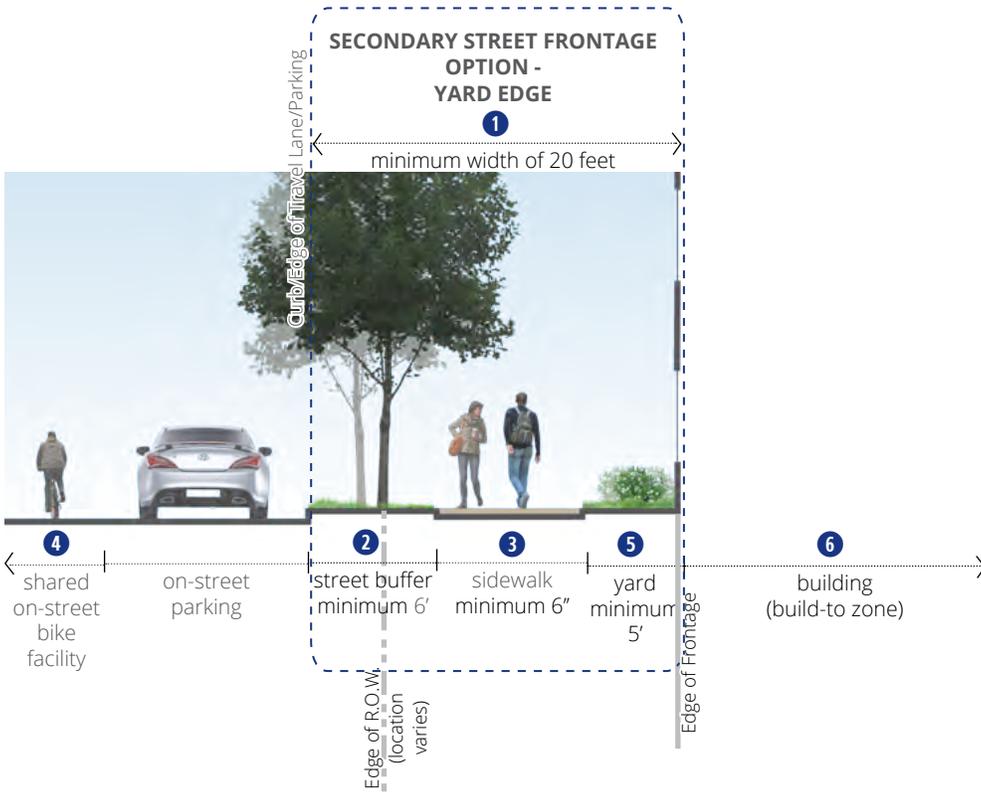


Figure 27-98-30 Secondary Street Frontage Option - Yard Edge

(c) Streets & Blocks

(1) Intent

The intent of the following requirements is to form an interconnected network of streets with multiple intersections and block sizes scaled to support multiple modes of transportation, including walking, biking, transit use, and driving, within the Perimeter Center Overlay area. Also refer to Chapter 16 for additional regulations.

(2) Applicability

The following are general block, lot, and street design requirements applicable to all districts within the Perimeter Center Overlay area. Development sites exceeding the following thresholds shall install new streets in accordance with this section.

- a. Any development project on a 5 acre or larger site that either increases or replaces an existing building by 60 percent or more of existing gross floor area; OR
- b. Any development project on a 5 acre or larger site that redevelops or revises 50 percent or more of an existing parking lot or that includes development of a new parking lot consisting of 15 or more spaces, not including resurfacing or repairing an existing layout

(3) New Street Locations.

- a. **Street Types Map.** Proposed street locations are illustrated on Figure 27-98-2 Street Types Map, defined to establish a network that would fulfill the Streets & Blocks intent and regulations.
- b. **Public Works Director.** Locations illustrated on the Street Types map are approximate. The requirements and locations of all streets shall be determined by and approved by the public works director during the Site Plan review process.

(4) Street Connectivity.

The following provides requirements and guidance for locating new streets and connecting to surrounding context.

- a. The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new developments.
- b. Cul-de-sac and dead end streets should be avoided and utilized only when topography and other existing barriers, such as highways, rail lines, or waterways, prevent street connectivity.

- c. Streets should follow natural features rather than interrupting or dead-ending at the feature.
- d. Streets should terminate at another street with either open space or a building facade across from the termination.
- e. When adjacent developments do not provide connectivity, coordinate with the community development director and public works director to determine the potential for future connections and provide for those connections.

(5) Block Configuration

Refer to Figure 27-98-31 for an illustration of Typical Block Elements and section 16-240 for Blocks.

- a. Blocks should be deep enough to accommodate buildings facing streets with parking located in the interior. Refer to 27-98(b) Street Types for minimum building frontages required for all streets.
- b. Blocks may be configured to include existing lots within an existing zoning district that is outside of the Perimeter Center Overlay.
- c. A network of streets is required to meet the maximum block size requirement. Proposed new streets to meet these sizes are illustrated on Figure 27-98-2 Street Types Map.

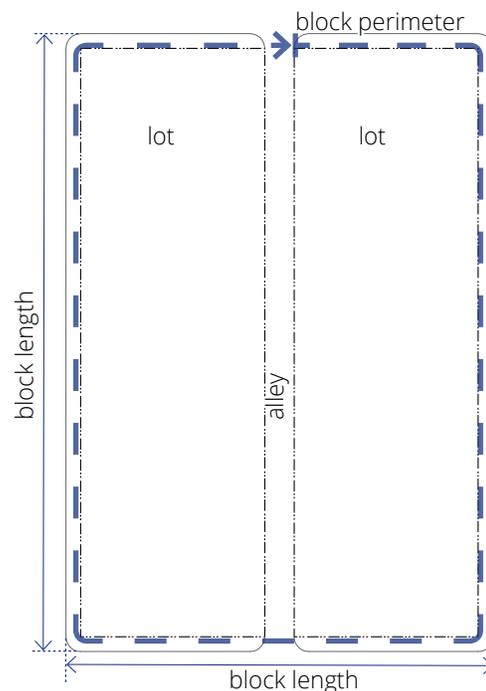


Figure 27-98-31 Typical Block Elements

d. Block Sizes for Zoning Districts. Block sizes for residential and commercial development and redevelopment are designated in section 16-240.

e. Block Sizes for Perimeter Center (PC) Districts. Maximum block perimeter for all PC Districts is 2400 feet. Recommended block perimeter is a maximum of 1800 feet.

f. Exceptions. Exceptions to block sizes include locations adjacent to natural features, such as steep grades and drainage areas, and other existing barriers, such as an inability to connect to adjacent parcels.

(6) Block Driveway Access Configurations

- a.** Blocks may include alleys, drives, or driveway entrances for service, parking accessibility, and other routes internal to the development.
- b.** Access to blocks should be aligned across the street from access to other blocks.
- c.** In the Perimeter Center districts, driveway locations are defined in the general Building Type requirements. Refer to 27-105(a)(10) Driveways.
- d.** Mid-Block Pedestrianways. Mid-Block pedestrianways are required through blocks longer than 800 feet and at locations that connect public rights-of-way with other public facilities such as parks and transit.
 1. When combined with mid-block street crossings, these pathways should align to facilitate easy pedestrian movements.
 2. Mid-block pedestrianways should be located in the middle third of a block face.
 3. Minimum width for mid-block pedestrianways rights-of-way or easements is 20 feet.
 4. A minimum of 1 canopy tree per 600 square feet of area is required.
 5. Mid-block pedestrianways should be treated with the minimum design requirements per 27-98(b)(4) Streetscape Furnishings & Hardscape Design.
 6. Shared-use paths through blocks per 27-98(b)(3)d may fulfill the requirements for Mid-Block Pedestrianways.

(7) Street Types

Refer to 27-98(b) Street Types for requirements for streets.

- a. Street Type.** All new and existing streets shall utilize one of the permitted Street Types per Figure 27-98-2 and the requirements of 27-98(b) Street Types.
- b. Frontage Options.** For each side of a street adjacent to or within the development, one of the frontage options defined by Street Type shall be utilized.
- c. Other Internal Street.** Other street types completely internal to the development may be approved by the public works director and the community development director through minor exception.
- d. Public Use.** All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
- e. Dimensions.** The dimensions defined in each Street Type provide the acceptable ranges. The public works director shall determine the appropriate configuration and dimensions for each street. Minor exceptions may be approved by the public works director during the approval process.
- f. Additional Director Requirements.** During the Pre-Submittal Conference, the community development director and/or public works director may adjust requirements for right-of-way, pavement width, or street elements depending on unique site locations and characteristics.
- g. Street Construction.** All street construction, whether publicly dedicated or privately held, shall follow Street Type and Frontage requirements and any other specifications defined by the City.

(d) General Building Design Criteria

(1) Applicability. The following outlines the general design criteria applicable to all buildings within the Perimeter Center Overlay. These criteria apply to all facades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.

(2) Intent. These criteria are intended to address each building's appearance and cohesiveness within the overall Perimeter Center Overlay area. Further, the criteria are intended to elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

(3) Materials.

a. Major Facade Materials. Major facade materials include high quality, durable, finish materials, such as brick, stone, and glass. Other high quality materials may be approved by the Director of Community Development during the site plan process. A minimum of 80 percent of each facade shall be constructed of major materials. Street facade materials shall continue around the corner of the building to non-street-facing facades a minimum depth of 20 feet. Refer to Figure 27-98-32 Major Materials.

b. Minor Materials. Acceptable high quality minor facade materials include all major materials; cement-based stucco; wood lap siding and shingles; architectural metal siding; architecturally finished concrete; fiber cement siding or shingles (such as Hardie Company products or similar); synthetic stucco/EIFS (see restrictions below); glass block; split-faced, burnished, glazed, or honed concrete masonry units (CMU), cast stone concrete elements. No more than 20 percent of each facade shall consist of minor materials.

c. Accent Materials. The following materials may be used for trim, details, soffits, eaves, and other accent areas: vinyl; aluminum and other durable metals; and metal for beams, lintels, trim, and ornamentation. Other materials may be approved by the Director of Community Development during the site plan process.

d. Restrictions.

1. The use of plain CMU block and vinyl are prohibited as a facade material.



Major Materials: Brick, stone



Major Materials: Glass, concrete

Figure 27-98-32 Major Materials

2. Synthetic stucco (EIFS) used on the first or second floor of a building shall be a “high-impact” system. Conventional EIFS may be used above the second floor.

e. Roof Materials. Wherever asphalt shingles are used, they shall be a minimum 3-dimensional architectural type.

(4) Windows, Awnings, and Shutters

a. Quantity of Windows. A minimum of 15 percent window coverage is required per story on all street facing facades and any facade visible from a street.

1. **Measurement.** Window requirements are measured as a percentage of the facade per floor.
2. **Blank Walls.** Windows shall be distributed so that no rectangular area greater than 30 percent of any story’s facade, as measured from floor to floor, and no horizontal segment of a story’s facade greater than 30 feet in width is windowless and violates the minimum percentage requirements.

b. Transparent Glass. All window glass shall be highly transparent with low reflectance. Light transmission should be approximately 60 percent for ground story windows and a minimum of 55 percent for upper story windows.

c. Awnings. All awnings shall be canvas or metal. Plastic awnings are prohibited. Awnings shall not be translucent. Refer to Figure 27-98-33 Awnings.

d. Shutters. If installed, shutters, whether functional or not, may be designed to the following standards:

1. All shutters should be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
2. Shutters should be wood, metal, or fiber cement. Other “engineered” woods may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.



Permitted Awnings: Metal



Permitted Awnings: Canvas

Figure 27-98-33 Awnings



Figure 27-98-34 Examples of Ground Story along Slope.

(5) Garage Doors. The following requirements apply to garage doors provided on any street facade.

- a. Location.** Garage doors are not permitted on Primary Street facades unless not utilized for vehicular access (but for patio access, open air dining). Garage doors are permitted on Secondary Street Facades with direct access to the street. The preferred location is on interior lot facades.
- b. Recessed from Facades.** Garage Doors located on street facing facades shall be recessed a minimum of 3 feet from the dominant facade of the principal building facing the same street.
- c. Design.** Garage doors facing a Secondary Street and intended to be closed during business hours shall be clad with materials consistent with the design of the building. Carriage-style doors are required on the Townhouse and Detached House Building Type.

(6) Ground Story at Sloping Facades

a. Intent. Given the slopes in many parts of the Perimeter Center area, building design must accommodate grade changes along the sidewalk without creating tall, out-of-scale blank walls. Large, unarticulated building facades signal to pedestrians that an area is not intended for walking, reducing activity in the area and creating dead zones. Refer to Figure 27-98-34 Examples of Ground Story along Slope.

b. Regulations for Shopfronts.

1. Grade transitions on the building along the sidewalk should be designed to maximize active pedestrian-scale frontages between waist and eye level while minimizing blank walls.
2. When possible, the interior floor level should step to match the exterior grade.
3. If it is necessary for the interior floor to remain constant along the grade, changes may be accommodated by a storefront window display space.
4. Knee wall and retaining walls shall not exceed 30 inches in height except along a maximum 15 foot section of facade length.
5. If grade change is more than 12 feet along a single block face, entrance requirements may

be increased to one entrance per 80 feet of building frontage.

- Building entrances adjacent to the street should be within 3 feet of the elevation of the adjacent sidewalk, unless utilizing the PC District building types.

c. Regulations for Residential and other Building Frontages.

- Grade transitions at the building along the sidewalk should be designed to minimize blank walls.
- When possible, the interior floor level should step to match the exterior grade.
- Multiple front entrances along the street activate each segment of building section at each grade.
- Transition zones between the sidewalk and building facade of porches, terraces, and landscape areas may be used assist with grade changes.
- If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by terraced planters and retaining walls.
- Retaining walls shall not exceed 30 inches in height except along a maximum 15 foot section of frontage.
- When the elevation of the first floor is more than 3 feet above grade, windows should be provided into the basement or lower floor elevations.

(7) Fueling Stations

Refer to Figure 27-98-35 Recommended Gas Station Layout for one illustration of the following criteria.

- Building Location.** A principal building should be built up to any corner with the longest facade along any Primary Street. If no Primary Street abuts the parcel, along the Parkway Facade.
- Side Yard Parking.** One double loaded aisle of parking is permitted on the interior side along a Primary Street, perpendicular to the street.
- Pumps and Canopy Location.** The pumps and canopy may be located on the interior of the parcel, but may have driveways to a street.

- Building Build-to Zone.** A building should be built to within 5 feet to 15 feet of the edge of the Street Type frontage.
- Building Facade Design.** The facade of all buildings shall meet all general design criteria within this section, 27-98(d) General Building Design Criteria.
- Canopy Design.** The canopy, columns, and structure shall be constructed substantially of the same materials utilized on the building.
- Pavement.** Site paving shall consist of maximum 22 foot driveways and lanes along parking and along pumps. All other areas shall be landscaped.
- Frontage.** A maximum of 50 percent of the frontage may be used for parking and fuel areas.

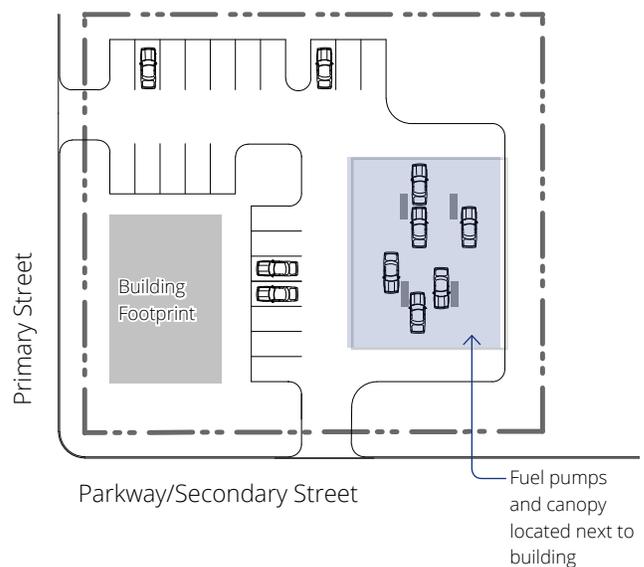


Figure 27-98-35 Recommended Gas Station Layout

(8) Accessory Drive-through Structures

Refer to Figure 27-98-36 Recommended Drive-Through Facility Layout for one illustration of the following requirements.

- a. **Structure/Canopy.** Drive-through structures or canopies shall be located on the rear or side facade of the building or in the rear of the lot behind the building, where permitted by use. The structure should not be visible from any Primary Street.
- b. **Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
- c. **Canopy Design.** The canopy, columns, and structure shall be constructed substantially of the same materials utilized on the building.

(9) Parking Structures Fronting a Street

The following requirements are provided for parking structures fronting a Secondary Street or Parkway.

- a. **Primary Streets.** Parking structures, whether accessory or principal use, shall not front a Primary Street, unless otherwise approved with Special Land Use Permit per Article V, Division 3.
- b. **Perimeter Center Districts.** In the Perimeter Center (PC) Districts, parking structures as the principal use on the lot require a special land use permit (refer to Article V, Division 3 Special Land Use Permits).
- c. **Parking Structure Design Requirements.**
 1. **Blank Wall Limitations.** On any street facade, no rectangular area greater than 30 percent of any story's facade, as measured from floor to floor, and no horizontal segment of a story's facade greater than 15 feet in width may be solid, blank wall.
 2. **Pedestrian Entry.** A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the sidewalk. If the entry is enclosed, windows are required to meet a transparency rate of 65 percent.
 3. **Structures along Highways.** Structured parking located along highways shall incorporate architectural elements (e.g. trellises, planters, landscape, panels) that screen vehicles and interior lighting.

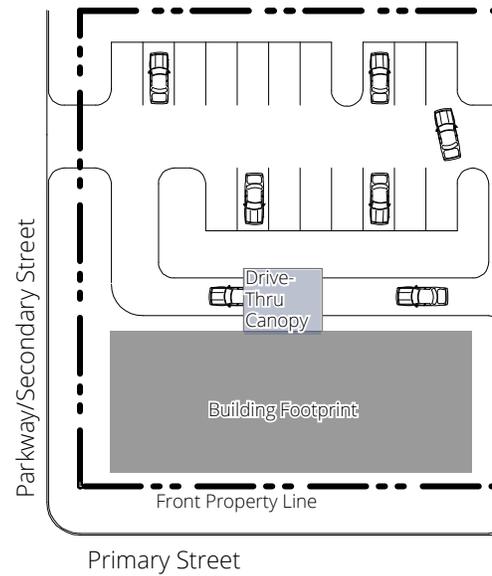


Figure 27-98-36 Recommended Drive-Through Facility Layout